



Application for Special-Use Permit

Village of Oak Park 708.383.6400
123 Madison Street
Oak Park, IL 60302-4272

Applicant Information

Name of Applicant: (Please print) Oak Park Fundamentals Learning Center
Address of Subject Property: 6441 W. North Ave.
Owner of Subject Property: Chetronda Gray Owner's Address: 4309 W. West End
Authorized Agent: (Please print) Address:
Phone Number: 773-629-3797 E-Mail Address: ag2819@gmail.com

Are there any original covenants, conditions, or deed restrictions concerning this property in the type of improvements, set backs, area, or height requirements?

Yes (if yes, attach explanation) No

Are there any contracts or agreements of any nature in existence with regard to the sale or disposal of this property that are contingent upon the decision made pursuant to this application?

Yes (if yes, attach explanation) No

The present owner acquired legal title to these premises on:

Case Information

The Applicant seeks a special-use permit to: Establish a day-care facility

The subject property is located in the B17 General Business Zone District(s).

The subject property is presently used as: office / Day-care

Certification

I hereby depose and say that all the above statements, as well as any statements contained in the papers submitted in support of this application submitted herewith, are true.

Sworn to me this 19 day of July, 2017

[Signature]
Notary Public

[Signature]
Applicant

My commission expires: 01/12/19

Notice: This application must be completed fully and legibly, and accompanied by all required submittals, as listed on the reverse side of this application. Only persons having a proprietary interest in the subject property may file an application. The application fee is due at time of application, and is not refundable.

Official Seal
Carmen Iris Figueroa
Notary Public, State of Illinois
Commission Expires 1-12-2019



Disclosure of Beneficiaries

Village of Oak Park
123 Madison Street
Oak Park, IL 60502-4272

708.383.6400

Address of subject property:
Property Identification Number (PIN):

Owner Information

You must provide the following information. If additional space is needed, attach extra pages to this form.

Owner 1 Name, Telephone No., Owner 1 Address, Facsimile No., Owner 2 Name, Telephone No., Owner 2 Address, Facsimile No.

If property is held in a Land Trust, provide name(s) of all beneficial owners. (A Certificate of Trust must be attached hereto.)

Applicant Information

Applicant's Name, Telephone No., Applicant's Address, Facsimile No.

Contact Information (if different than Applicant)

Contact Name, Telephone No., Contact Address, Facsimile No.

Proprietary Interest of Applicant

Owner, Legal Representative, Direct Purchaser, Other

Certification

I hereby declare that all the above statements, as well as any statements contained in the form of information submitted in support of this application are true and correct.

Signature of Applicant, Date, Notary Public, My commission expires



Official Seal
Carmen Iris Figueroa
Notary Public, State of Illinois
Commission Expires 1-12-2019

Oak Park Fundamentals Learning Center

6441 W. North Ave.

Oak Park, IL

**Special Use Standards:**

1. The proposed building or use at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience and will contribute to the general welfare of the neighborhood or community:

We have provided childcare not only for working parents, but also for teenage moms struggling to raise their children, while continuing their education, and working part time. We also collaborated with a Safe Haven non-profit agency to provide a parent literacy program, which helps facilitate life skills training. We offer the community back to school book bags and supplies for those that need assistance. Great Expectations Learning Academy has provided over 20 youth jobs during the summer for the past 5 years. Each year we are able to keep 3 out of 20 youth with part-time jobs all year round. Lastly, every year we have been able to hand out turkeys to those families that need assistance during the holiday season. We have partnered with Secretary Jesse White in this endeavor. Our philosophy is to create an environment where kids can dream and be comfortable doing it.

2. The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, utility facilities and other matters affecting the public health, safety and general welfare:

The proposed site is currently in between a massage parlor (which will be vacated shortly) and a dentist office. We see no adverse effects to the dental office that will remain. Also, we are requesting that the drop off/pick up locations be at the rear of the property in designated parking spots. It is our goal to avoid North Ave traffic as much as possible, this will help not only help our clients/students but also the local community, by not putting any additional strain on an already congested street. There is currently 11 parking spaces in the rear, which will be used for staff and clients as needed.

3. The proposed building or use will be designed, arranged and operated so as to permit the development and use of neighboring property in accordance with the applicable district regulations:

Yes, the property will maintain a design that will work (see attached plans) in accordance with all regulations and will be fully permitted by the Village of Oak Park. We have retained an architect to ensure our compliance with any regulations/codes the Village may require.

4. The proposed building or use complies with the more specific standards and criteria established for the particular building or use in question by Section 2.2.7 (Planned Development Procedures) and 4.5 (Special Uses) of this Zoning Ordinance:

Yes, our architect has reviewed all Zoning Ordinances in Section 2.2.7, we meet all criteria required to operate a day care at this site.

5. The proposed building or use has been considered in relation to the goals and objectives of the Comprehensive Plan or the Village of Oak Park:

We have had numerous Village Departments to the site (Buildings, Fire, Health and Zoning) and feel we meet all the objectives the Village has presented.

6. There shall be reasonable assurance that the proposed buildings or use will be completed and maintained in a timely manner, if authorized:

Yes, the project, if approved, is projected to be complete in two and a half months. We have retained contractors in all needed disciplines and have been assured that our time constraints will be met.



The Village of Oak Park  
Village Hall  
123 Madison Street  
Oak Park, Illinois 60302-4272

708.383.6400  
Fax 708.383.6692  
www.oak-park.us  
village@oak-park.us

September 28, 2017

Mike Bruce  
Zoning Administrator

Re: 6441 North Ave. Oak Park Fundamental Learning Center Traffic Review

Dear Mr. Bruce:

The Engineering Division has reviewed the proposed Oak Park Fundamental Learning Center at 6441 North Avenue which is going before the Zoning Board of Appeals for its parking and traffic related impacts. While the proposed use as a day care along North Avenue does create some concerns and challenges, the submitted drop-off and pick-up (DO/PU) does provide reasonable accommodations to manage these operations with minor modifications. Staff is requesting that the direction of traffic flow through the east-west alley on the south side of the site be westbound verses the proposed eastbound direction (see attached mark-ups of the submitted documents). This is being requested so that proposed DO/PU avoids vehicles staging adjacent to the Wonder Works.

Should the applicant revise their proposed DO/PU procedures to accommodate this request the Engineering Division approves of the use of the site at 6441 North Avenue for the proposed Oak Park Fundamental Learning Center. Should you have any questions or concerns please contact me at the number below.

Sincerely,

Bill McKenna, PE  
Village Engineer  
708-358-5722  
mckenna@oak-park.us

9/27/2017

From: Great Expectations Learning Academy

To: Oak Park Zoning Board of Appeals

Re: Special Use Permit for 6441 W. North Ave:

Pick-up/drop-off procedures

- Staff to be assigned to Pick-up/drop-off area(s):  
There will be a minimum of 2 staff assigned to the designated parking spots at the rear of the property (off alley). These parking spots will be clearly marked with "Parent/Guardian Pick-up/Drop-off Signage". Assigned staff will be proactive in expediting and assisting the safe passage of all children.
- Staff will disburse Pick-up/drop-off protocol to all parents/guardians:  
Parents will receive a written notice of Pick-up/drop-off procedures upon enrollment. Staff will continually monitor traffic flow and advise to any changes or adjustments that may need to be made to maintain the safety of both children and surrounding neighbors. Staff will be positioned at rear door (glass door which will help with visibility) and assist with entry/exit of all children to their designated vehicle. This will ensure the direct entry to the facility and allow for a routine that the children can become accustomed to.
- Hours of operation:  
The daycare will be open from 8am – 6pm. Staff will be on-site at 7:30am, this will allow them to properly prepare for the day and cut down on any potential traffic back-up due to waiting on staff.

However, the majority of our clients do typically come from lower income households and we anticipate public transportation to be utilized. This makes North Ave ideal for us, as it gives our clients a major thoroughfare for public transportation.

- Approximate number of children being dropped off:  
Our age range is infant to toddler. All parents/guardians will be advised to use Roselle Ave (south), then head (west) down alley and park in one of the available assigned parking spaces. After drop-off/pick-up is complete, the parent will then continue (west) down alley and head (north) on Elmwood Ave. This will exit them onto North Ave and from there they can choose to head (east or west).

Infants will be carried in by either parent or staff, and we anticipate the time to be between 5-7 minutes (possibly more-depending on weather or other unforeseen circumstances). Toddlers

will take between 4-5 minutes and will be able to walk directly into the facility with the assistance of staff or parent/guardian. Parking will be a maximum of 10 minutes. There will be 8 spaces available for use plus an additional 3 spaces for staff.

Unfortunately, due to different work/school schedules, we cannot predict the actual hours of pick-up/drop-off. We anticipate the majority of pick-up/drop-offs to be in the morning but this can change and will have to adjust accordingly.

- **North Ave pick-up/drop-off:**

We have looked into applying for designated pick-up/drop-off areas on North Ave, but safety is of the utmost importance and feel the rear of the property will be a safer option and will have the least impact on our surrounding neighbors.

Furthermore, the parking spaces in the rear of the property sit an additional 5' of the common alley way. This will help keep vehicles from blocking the alley and ensure limited alley traffic.

- **Traffic/parking protocol:**

All vehicles must comply with all rules and regulations set forth by the facility. An assigned staff member will be assigned to the rear of the property and will direct vehicles to available open spaces. This will help traffic flow and ensure the timely flow of children into and out of the property.

Parents will be informed of all procedures and rules. Signage will be clear and concise.

# **Greater Expectations Learning Academy**

## **Pick-up/Drop-off Procedures**

Please advise anyone picking-up or dropping-off your child on the following procedures.

Pick-up/Drop-off procedures:

1. Vehicles must use Rossell Ave to enter the alley that leads to the rear of the property.
2. Vehicles must use the rear entry to enter facility and park in assigned space (attendant will advise to open/available space)
3. Please avoid blocking alley or impeding the flow of traffic.
4. If traffic does back-up please remain in your vehicle and allow a staff member to assist your child into the facility.
5. Please refrain from cellphone use at all times while in alleyway.
6. Please only park in assigned spaces.
7. Never leave your vehicle unattended.
8. Never send you child into facility unattended.
9. Vehicles are required to take Roselle Ave south then head West to alley behind facility.
10. All vehicles must continue West in alley upon existing parking space.
11. Please be courtesy to all neighbors.

The aforementioned procedures are for the safety of both children and parents. We ask that you respect our neighbors and adhere to all procedures to the best of your ability. Thank you in advance for your cooperation.





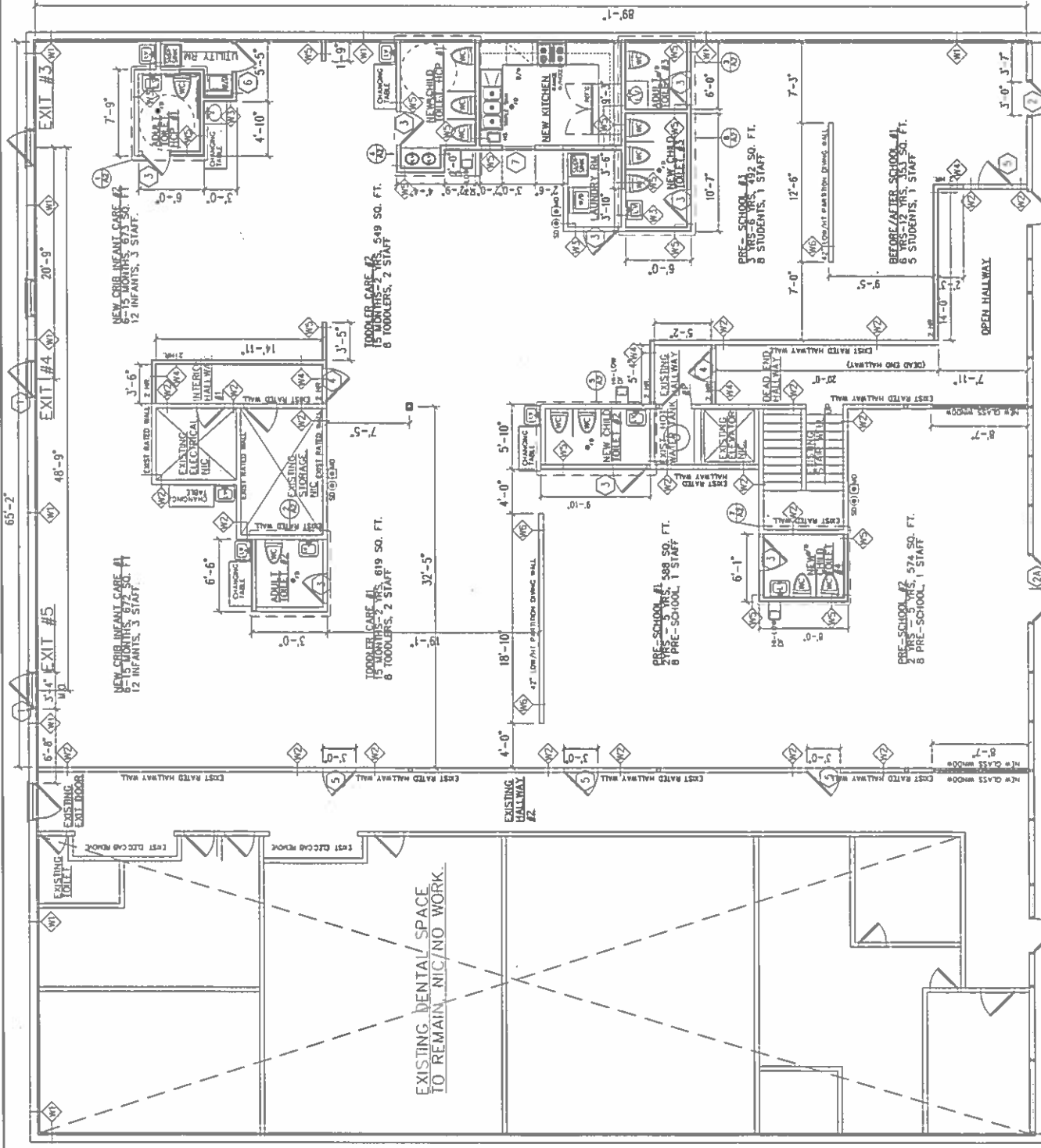
ARCHITECTURAL  
FIRST FLOOR PLAN  
Scale: 1/8" = 1'-0"

- WALL TYPES:** (SEE THE CONSTRUCTION SEE SHEET A-1)
- #1 EXISTING EXTERIOR RATED WALL
  - #2 EXISTING INTERIOR RATED WALL (WALL RATING AS NOTED)
  - #3 EXISTING NON-RATED INTERIOR WALL
  - #4 NEW INTERIOR RATED WALL (WALL RATING AS NOTED)
  - #5 NEW INTERIOR NON-RATED WALL
  - #6 NEW INTERIOR LOW/HIGH PARTITION WALL

**GENERAL NOTES:**

- 1 ALL WORK SHALL BE DONE IN ACCORDANCE WITH STATE OF ILLINOIS BUILDING CODES AND ALL APPLICABLE LATEST EDITIONS AND SHALL BE LEFT CLEAN AND IN PERFECT OCCUPANCY AND OPERATING CONDITIONS
- 2 ALL INTERIOR TO BE CLASS 1 WITH 0 TO 25 F.S.R.
- 3 ALL EXIST DOORS TO REMAIN KEYS IN THE DIRECTION OF EGRESS
- 4 ALL GLASS TO COMPLY WITH SAFETY GLAZING REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL BUILDING CODES
- 5 GENERAL CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING FIELD CONDITIONS
- 6 CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS
- 7 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROROGING TEMPORARY BRACING OF WALLS DURING CONSTRUCTION
- 8 PROVIDE M.R. BOARD IN ALL TOILETS, TYP
- 9 SMOKE DETECTORS SHALL BE HARDWARE AND PLACED AS INDICATED
- 10 ALL PIPES AND DUCTS PASSING BETWEEN FLOORS SHALL BE FIRE STOPPED W/ A NON-COMBUSTIBLE MATERIAL SECURELY ATTACHED TO THE STRUCTURE AND THE PASSAGE OF FIRE AND SMOKE AS PER CBC (116.8.8.6)
- 11 THIS PROJECT IS PRIVATELY OWNED AND PRIVATELY FINANCED
- 12 DO NOT SCALE DRAWINGS

- GENERAL LEGEND**
- EXISTING EXTERIOR RATED WALL TO REMAIN
  - EXISTING INTERIOR RATED WALL TO REMAIN
  - NEW INTERIOR RATED WALL
  - NEW INTERIOR NON-RATED WALL
  - NEW INTERIOR LOW/HIGH PARTITION WALL
  - NEW DOORS - SEE DOOR SCHEDULE
  - GLASS MOUNTED HARDWARE, 110 VOL.7
  - GLASS MOUNTED HARDWARE, 110 VOL.7
  - GLASS MOUNTED HARDWARE, 110 VOL.7
  - SMOKE DETECTOR



**ACCESSIBILITY NOTES**

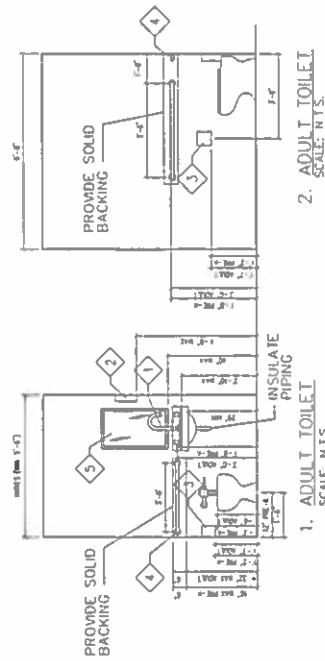
- DAY CARE MUST FULL COMPLY WITH IAC SECTION 400.10 (NEW CONSTRUCTION)
- TOILETS MUST FULL COMPLY WITH IAC SEC. 400.10 (r=0)
- INSULATE ALL EXPOSED PIPING UNDER LAVATORY
- ALL DOORS MUST BE 3'-0" WIDE, LEVER OPERATED HARDWARE & HAVE 18" CLEARANCE ON PULL SIDE & COMPLY W/ IAC SEC 400.310(J)
- DRINKING FOUNTAIN TO BE 44"-LOW & COMPLY W/ IAC SEC 400.310(K)
- SINKS & OTHER REGULATION SYSTEMS MUST BE OF BRASS/STAINLESS & COMPLY TO IAC SEC 400.310(I)
- SEATING TABLES AND WORK SURFACES MUST COMPLY W/ IAC SEC 400.310(H) UPON ITS PROVISIONS AND/OR INTERIOR BUILDOUTS
- PROVIDE KNURLED HANDLES TO ALL ACCESSIBLE TOILETS

**TOILET ACCESSORIES**

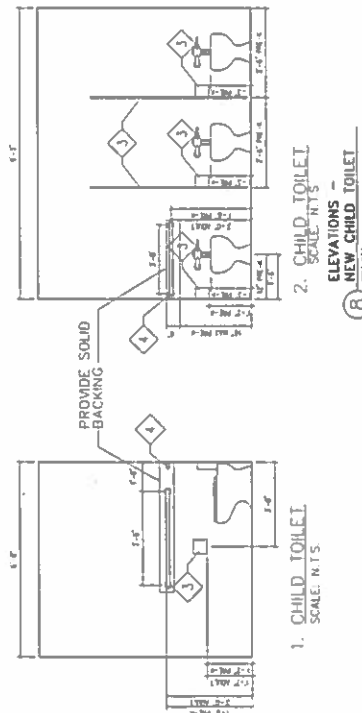
- ROBRICK, BRADLY, OR EQUAL, SATIN CHROME FRESH
- ALL SECURED TO REINFORCED WALL BACKING
- EACH TOILET TO RECEIVE RECESSED TOILET PAPER HOLDER
- (1) 24" LONG & (1) 42" LONG GRAB BAR, PAPER TOWEL DISPENSER & DISPOSAL, GLASS MIRROR IN CHANMILL FRAME

**TOILET ELEVATION LEGEND**

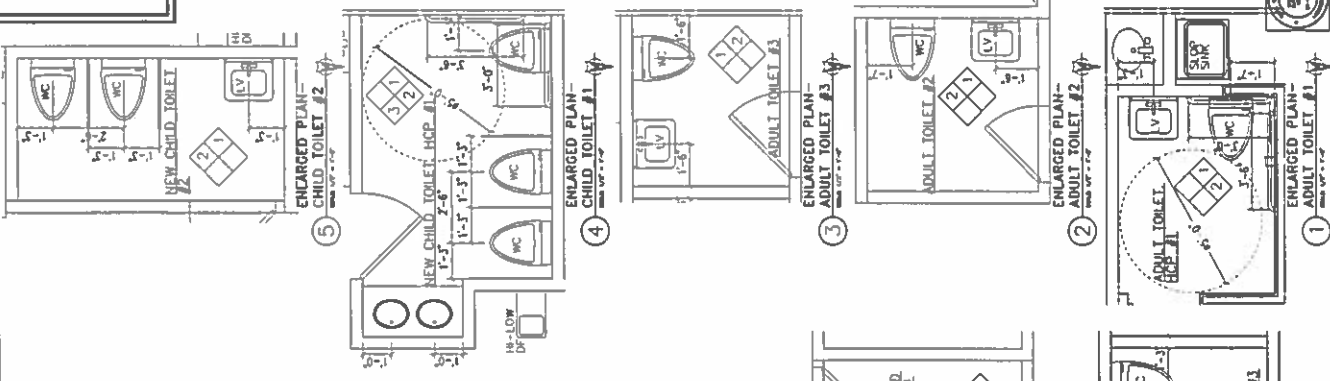
- 1 GOOSENECK SPOUT
- 2 PAPER TOWEL DISPENSER
- 3 TOILET PAPER HOLDER
- 4 36" LONG GRAB BAR W/ SOLID BLOCKING
- 5 FRAMED MIRROR



9 ELEVATIONS - NEW ADULT TOILET



8 ELEVATIONS - NEW CHILD TOILET





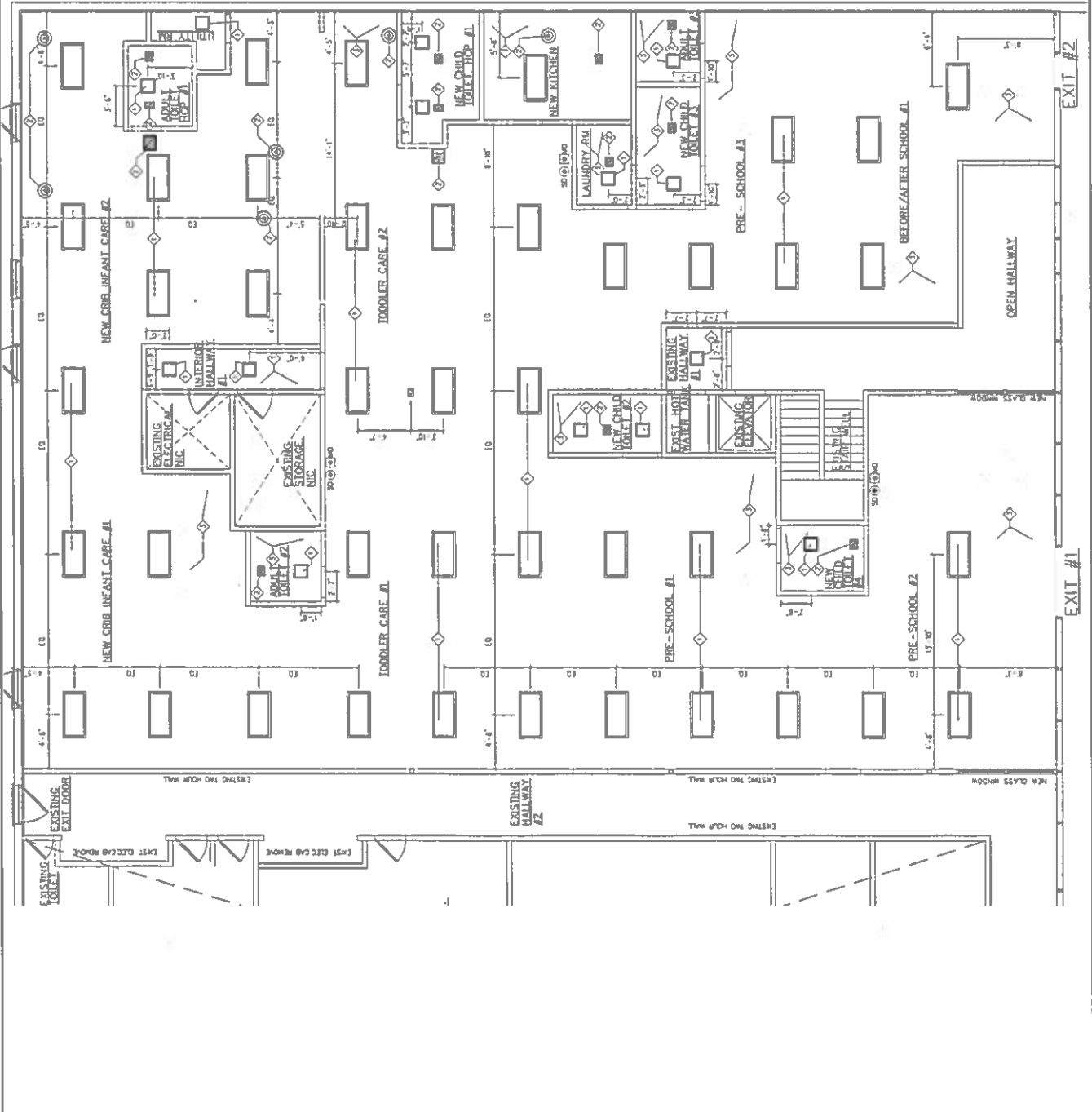
REFLECTED CEILING -  
FIRST FLOOR PLAN

**LEGEND**

	NEW LIGHTING FIXTURES - SEE ELECTRICAL PLAN FOR WATTAGE & SCHEDULE
	EXISTING SUPPLY AIR DIFFUSER
	EXISTING EXHAUST/RETURN
	EXISTING HARD SURFACE CEILING

**REFLECTED CEILING KEYED NOTES**

	01 SURFACE MOUNTED CEILING LIGHTING - SEE ELECTRICAL PLAN
	02 EXISTING MECHANICAL DIFFUSER - SEE MECHANICAL PLAN
	03 EXISTING HARD SURFACE CEILING



# 6441 WEST NORTH AVENUE ILLINOIS OAK PARK

## SCOPE OF WORK

I. RENOVATE OF EXISTING INTERIOR COMMERCIAL SPACE INTO  
NEW DAY CARE FACILITY

OCCUPANCE MATRIX	
PRE-SCHOOL, 250 SQ FT 12 INFANTS, 3 STAFF	PRE-SCHOOL, 250 SQ FT 12 INFANTS, 3 STAFF
PRE-SCHOOL, 250 SQ FT 13 TODDLERS, 2 STAFF	TODDLER CARE, 450 SQ FT 13 TODDLERS, 2 STAFF
PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF	PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF
PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF	PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF
PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF	PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF
PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF	PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF
PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF	PRE-SCHOOL, 250 SQ FT 8 PRE-SCHOOL, 1 STAFF

- ### DRAWING INDEX
- CS SITE PLAN, BUILDING/ZONING CODES MATRIX & NOTES
  - LS-1 LIFE SAFETY FIRST FLOOR PLAN, SYMBOL & NOTES
  - D-1 DEMOLITION FLOOR PLAN & NOTES
  - A-1 ARCHITECTURAL FLOOR PLAN SYMBOLS & NOTES
  - A-2 ENLARGE FLOOR PLANS, TOILET ELEVATIONS, & NOTES
  - A-3 RCP PLAN, SCHEDULES & NOTES
  - A-4 SCHEDULES, SYMBOLS & NOTES
  - M-1 MECHANICAL SCHEDULES AND NOTES
  - M-2 MECHANICAL SCHEDULES AND NOTES
  - E-1 ELECTRICAL LIGHTING FLOOR PLANS
  - E-2 ELECTRICAL SYMBOLS, SCHEDULES AND NOTES
  - EM-1 EMERGENCE EXIT FLOOR PLANS, SYMBOLS AND NOTES
  - P-1 PLUMBING- FIRST FLOOR PLAN- UNDERGROUND PIPING
  - P-2 HOT & COLD RISER DIAGRAM, SCHEDULE & NOTES

### CODE DATA

CODES REFERENCED:

- 2009 INTERNATIONAL BUILDING CODE
- 2006 INTERNATIONAL PLUMBING CODE-LOCAL AMENDMENTS (ARTICLE IV, SEC. 6-71 AND 6-72)
- 2011 NATIONAL ELECTRIC CODE-LOCAL AMENDMENTS
- 2004 STATE OF ILLINOIS PLUMBING CODE-LOCAL AMENDMENTS
- (ARTICLE IV, SEC. 6-71 AND 6-72)
- 2008 INTERNATIONAL MECHANICAL CODE-LOCAL AMENDMENTS
- (ARTICLE IV, SEC. 6-71 AND 6-72)
- 2012 ILLINOIS ACCESSIBILITY CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)-STATE OF ILLINOIS AMENDMENTS

TENANT USE GROUP:  
USE GROUP E-EDUCATIONAL

BUILDING CONSTRUCTION TYPE:  
TYPE 2B (EXISTING EXTERIOR WALLS HIGH-COMBUSTIBLE)

FIRE RISK:  
TYPE 2B (EXISTING EXTERIOR WALLS HIGH-COMBUSTIBLE)

AREA CALCULATIONS:  
TENANT GROSS AREA: 1,292 sq ft.

OCCUPANCY LOAD:  
1 PER 35 SF (EDUCATIONAL) @ 1,292 sq ft = 37

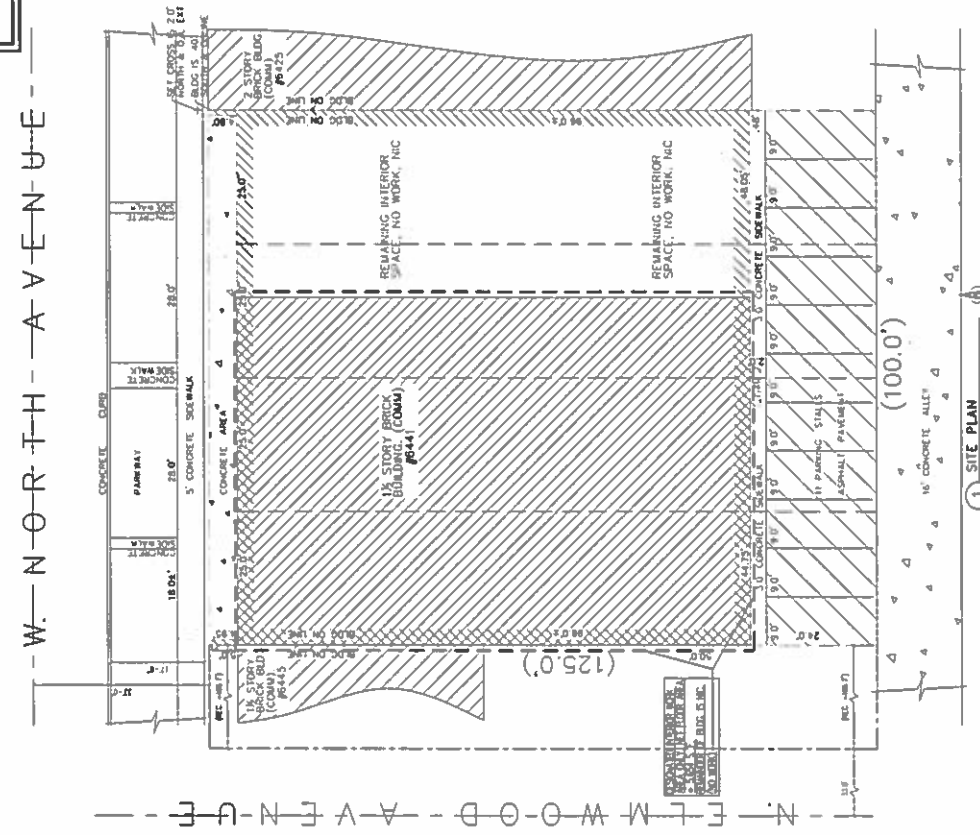
PLUMBING OCCUPANCY LOAD:  
1 PER 50 (6 STAFF, 24 INFANTS & TODDLERS)

### EXISTING BUILDING DATA

FIRE RESISTANT RATING REQUIREMENTS FOR BUILDING ELEMENTS:

- STRUCTURAL FRAME: EXISTING
- TENANT SPACE SEPARATION: EXISTING
- INTERIOR BEARING WALLS: EXISTING
- EXTERIOR BEARING WALLS: EXISTING
- NON-BEARING WALLS AND PARTITIONS: UL 4895 2 HR.
- INTERIOR: EXISTING
- EXTERIOR: EXISTING
- ROOF CONSTRUCTION: EXISTING
- CEILING CONSTRUCTION: EXISTING

MFPA CLASSIFICATION OF HAZARD: LOW



1 SITE PLAN  
DATE: 11-30-2018

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PREPARED WORKS COMPLY WITH THE REQUIREMENTS OF THE ENERGY CONSERVATION CODE AS EFFECTIVE APRIL 22, 2009.

SIGNED: HANHEL VELEZ DATE: 11-30-2018  
ILLINOIS LICENSE NUMBER: 1013480

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND HAVE TO THE BEST OF MY KNOWLEDGE AND BELIEF, BEEN PREPARED IN ACCORDANCE WITH THE CITY OF CHICAGO AND ORDINANCES.

SIGNED: HANHEL VELEZ DATE: 11-30-2018  
ILLINOIS LICENSE NUMBER: 1013480

DATE	REVISION	REMARKS

VEE ENTERPRISE  
2709 S. HILLOCK STREET.  
CHICAGO, ILLINOIS 60608  
733-332-7267

Proposed Project:  
RENOVATION OF EXISTING SPACE INTO  
DAY CARE FACILITY - OAK PARK  
6441 WEST NORTH AVENUE,  
OAK PARK, ILLINOIS

DATE	CHECKED BY	DRAWN BY



DATE	REVISION	REMARKS

--	--



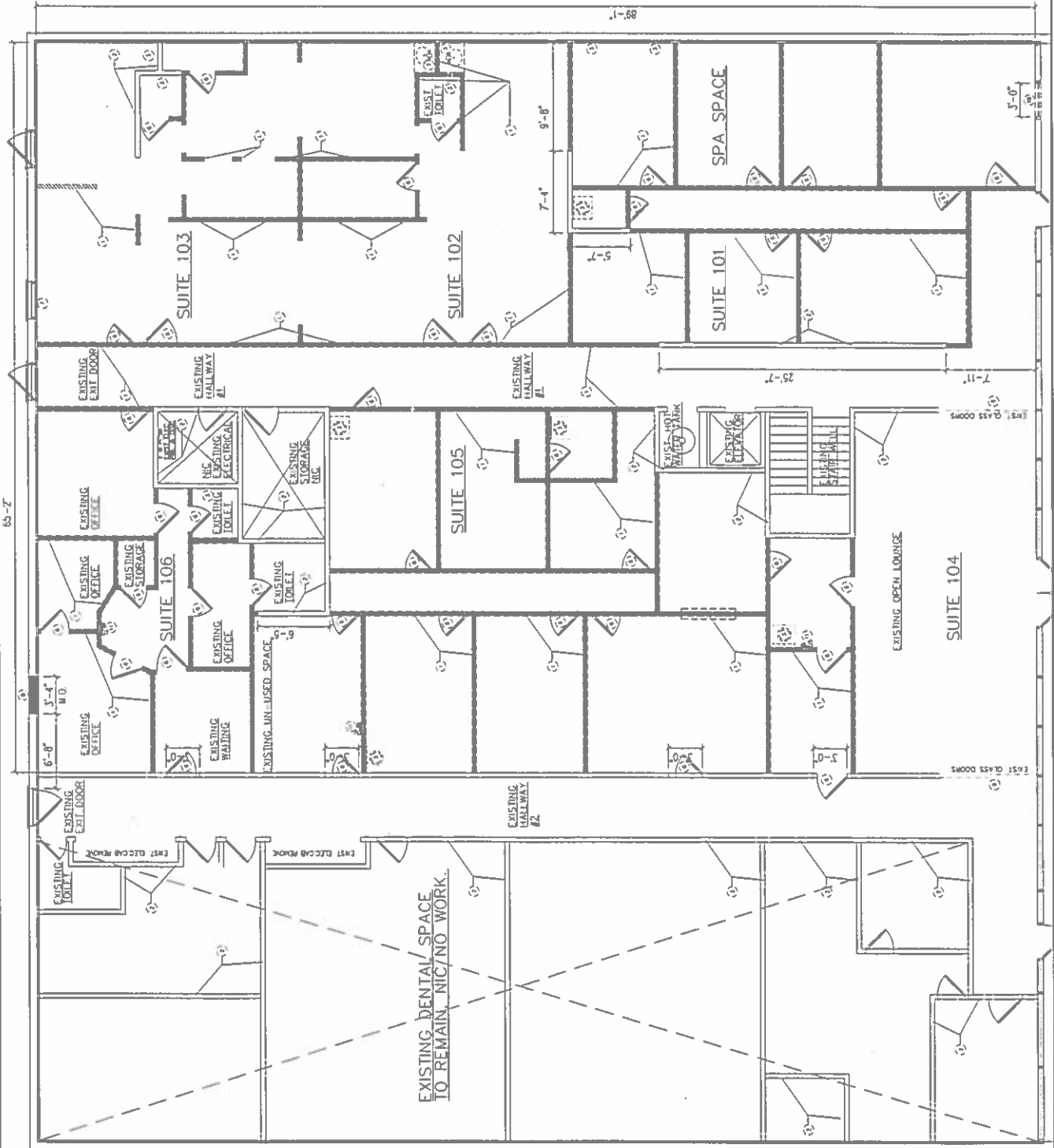
DEMOLITION -  
 FIRST FLOOR PLAN  
 1

**LEGEND**

Existing walls to be removed  
 Existing walls to be retained

**DEMOLITION LEGEND**

1. EXISTING WALL TO BE RETAINED  
 2. EXISTING WALL TO BE REMOVED  
 3. EXISTING WALL TO BE DEMOLISHED  
 4. EXISTING WALL TO BE DEMOLISHED (NO RECONSTRUCTION)  
 5. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED  
 6. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES)  
 7. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES AND MECHANICAL)  
 8. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL AND ELECTRICAL)  
 9. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL AND PLUMBING)  
 10. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING AND HVAC)  
 11. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC AND STRUCTURE)  
 12. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE AND INTERIORS)  
 13. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE, INTERIORS AND EXTERIORS)  
 14. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE, INTERIORS, EXTERIORS AND LANDSCAPE)  
 15. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE, INTERIORS, EXTERIORS, LANDSCAPE AND UTILITIES)  
 16. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE, INTERIORS, EXTERIORS, LANDSCAPE, UTILITIES AND COMMUNICATIONS)  
 17. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE, INTERIORS, EXTERIORS, LANDSCAPE, UTILITIES, COMMUNICATIONS AND TRANSPORTATION)  
 18. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE, INTERIORS, EXTERIORS, LANDSCAPE, UTILITIES, COMMUNICATIONS, TRANSPORTATION AND SPECIALTIES)  
 19. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE, INTERIORS, EXTERIORS, LANDSCAPE, UTILITIES, COMMUNICATIONS, TRANSPORTATION, SPECIALTIES AND OTHERS)  
 20. EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED (WITH FINISHES, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, STRUCTURE, INTERIORS, EXTERIORS, LANDSCAPE, UTILITIES, COMMUNICATIONS, TRANSPORTATION, SPECIALTIES, OTHERS AND FINISHES)



DRAWN BY: M. VELEZ  
CHECKED BY: M. VELEZ  
DATE: JUNE 2, 2011 (REVISED FROM PREVIOUS)

PROJECT: ELECTRICAL LIGHTING FLOOR PLAN  
DAY CARE FACILITY - OAK PARK  
FUNDAMENTAL LEARNING ACADEMY  
OAK PARK, ILLINOIS

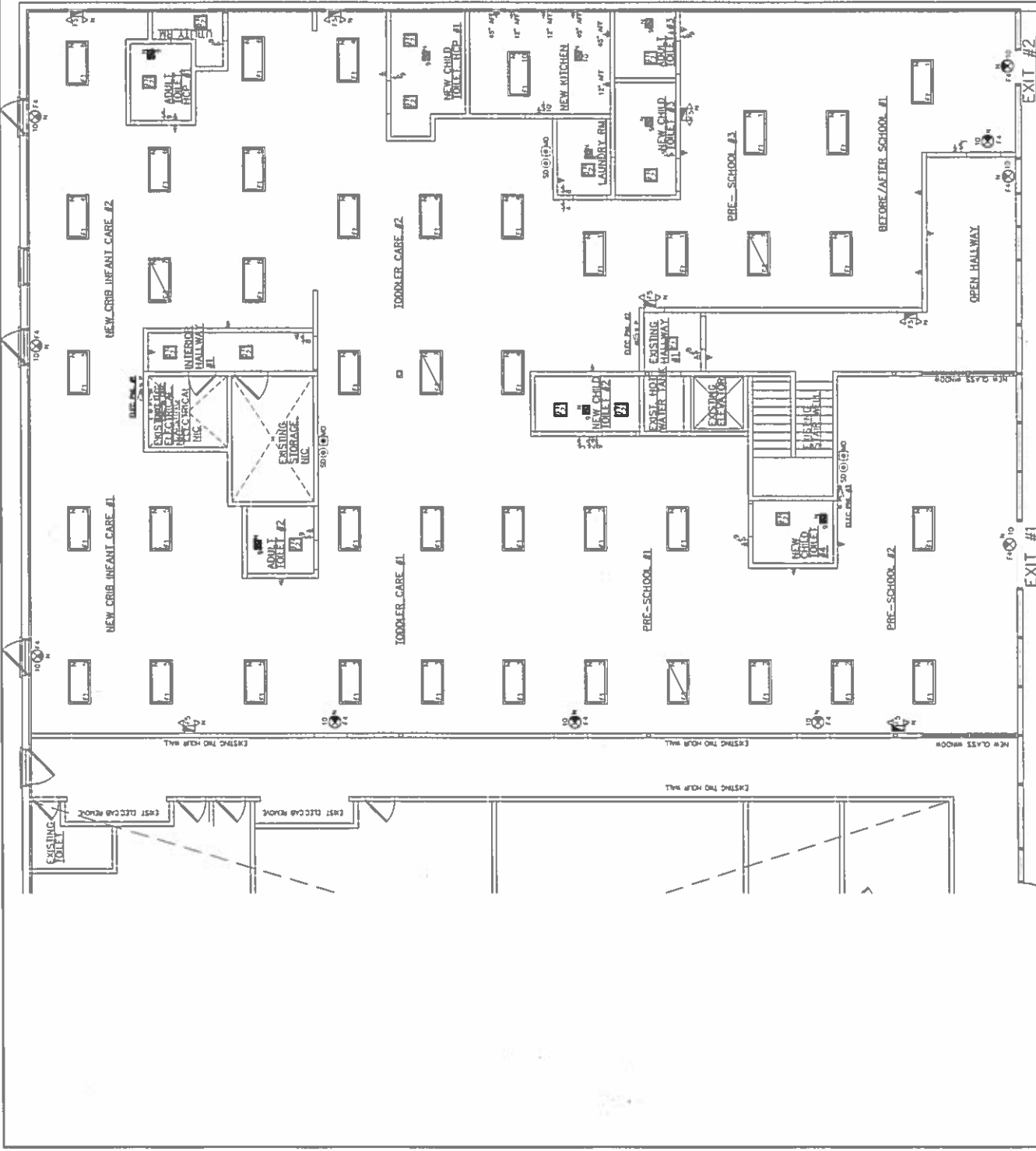
VEE ENTERPRISE  
2709 S. HILLOCK STREET,  
CHICAGO, ILLINOIS 60608  
733-332-7287

DATE	REVISION	REMARKS

ELECTRICAL LIGHTING  
FIRST FLOOR PLAN

**ELECTRICAL LEGEND**

	WALL RECEPTACLE
	GROUNDING WALL RECEPTACLE
	WEATHER PROOF GROUNDING WALL RECEPTACLE
	SINGLE LIGHT SWITCH
	3 WAY SINGLE LIGHT SWITCH
	WALL MOUNTED LIGHT FIXTURE
	CEILING RECESSED INCANDESCENT LIGHT FIXTURE
	CEILING MOUNTED HARDWIRED, 110 VOLT SMOKE DETECTOR
	CEILING MOUNTED CARBON MONOXIDE DETECTOR
	EXHAUST FAN INTERLOCKED W/ LIGHT SWITCH
	2'x4' SURFACE MOUNTED LIGHT FIXTURE
	2'x4' SURFACE MOUNTED NIGHT LIGHT FIXTURE
	2'x2' SURFACE MOUNTED LIGHT FIXTURE
	EMERGENCY LIGHT WALL MOUNTED LIGHT FIXTURE
	EMERGENCY EXIT SURFACE MOUNTED LIGHT FIXTURE
	EXISTING MAIN PANEL WITH DISCONNECT SWITCH
	NEW DISTRIBUTION CIRCUIT PANEL



DATE	REVISION	REMARKS



EMERGENCY EXIT - FIRST FLOOR PLAN  
 1

**LEGEND**

ULTRACODE APPROVED BATTERY EMERGENCY LIGHT W/ (2) 12W HALOGEN LAMP W/ 2 BATTERIES CONNECTED TO PUBLIC PANEL

ULTRACODE APPROVED EXIT SIGN LIGHT W/ (2) BATTERY BACK UP PACK, 28-PA3-120-MA-OL SERIES W/ 2 BATTERIES CONNECTED TO PUBLIC PANEL

**FIRE PREVENTION BUREAU - EXIT SIGN SYMBOLS**

NEW FEATURE: EXISTING FEATURE:

CHANGE CLASS IN EXISTING FEATURE:

CHANGE EXISTING FEATURE TO NEW FEATURE:

VIEWING SIDE OF FEATURE (W/ DIRECTIONAL ARROW):

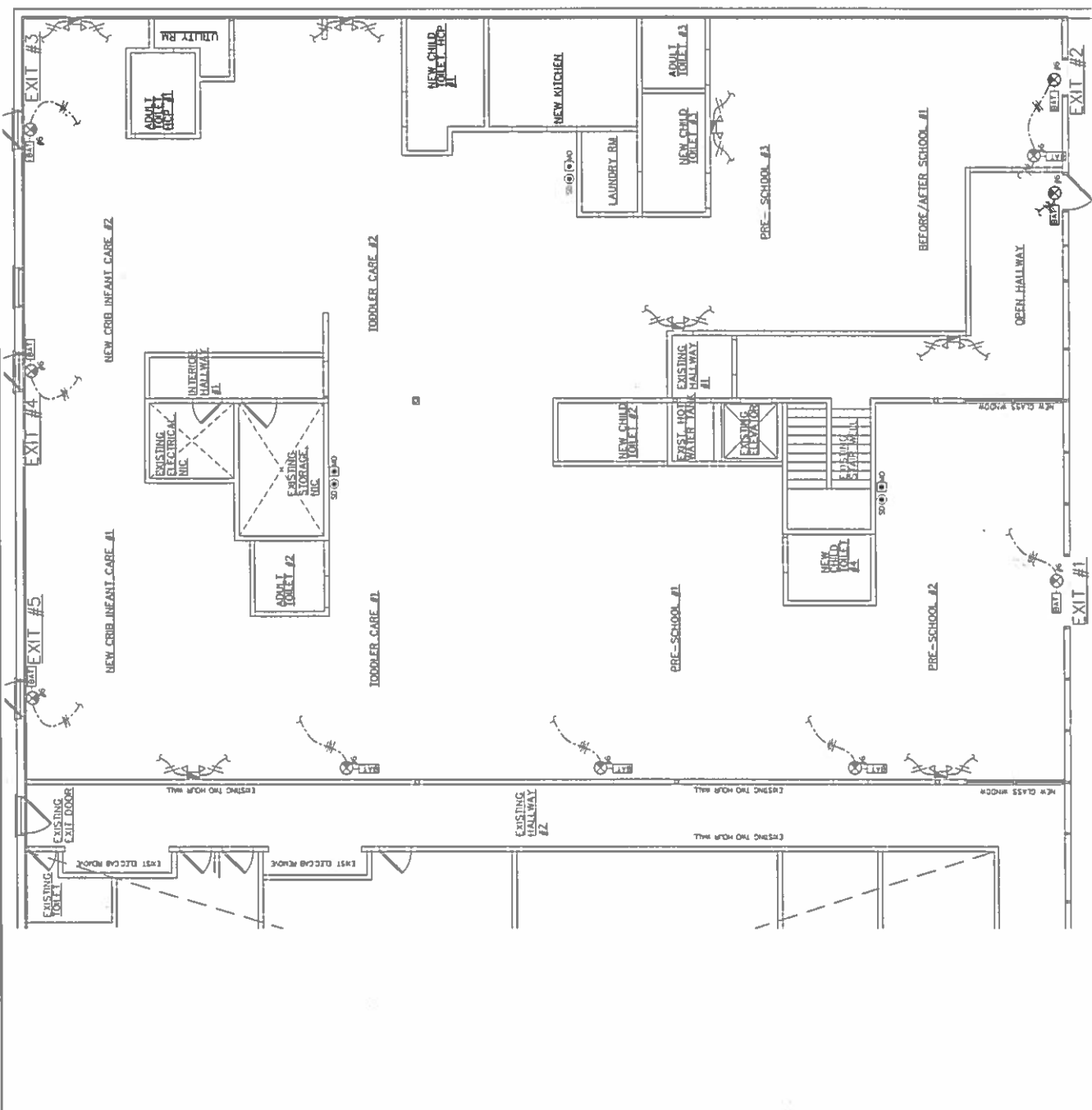
ICON NUMBER (FOR ALL SIGNS IN ADDITION TO ABOVE):

**SINGLE FACE SIGNS**

1 FIRE ESCAPE  
 2 STAIRS/STAIRWAY  
 3 EXIT  
 4 FIRE ESCAPE  
 5 STAIRS  
 6 STAIRS  
 7 FIRE ESCAPE  
 8 STAIRS  
 9 STAIRS  
 10 FIRE ESCAPE  
 11 STAIRS  
 12 EXIT

**DOUBLE FACE SIGNS**

16 SHOWN THE FACES WITH THE PROPER ANGLE OF THE FACE AND FACE NUMBER (1,2 OR 3)  
 17-18  
 19 FIRE ESCAPE  
 20 STAIRS  
 21 EXIT  
 22 FIRE ESCAPE  
 23 STAIRS  
 24 EXIT



DATE	REVISION	REMARKS



LIFE SAFETY  
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

LIFE SAFETY LEGEND	ABBREVIATIONS TO OUTLINE
EXISTING ELEVATOR HALL	EXISTING ELEVATOR
EXISTING INTERIOR HALL	EXISTING INTERIOR HALL
EGRESS PATH/DISTANCE	EGRESS FROM BUILDING
STANDING POINT	STANDING POINT

FIRST FLOOR TRAVEL DISTANCE
ROUTE NO 1 = 45'-0"
ROUTE NO 2 = 47'-0"
ROUTE NO 3 = 50'-0"
ROUTE NO 4 = 50'-0"
ROUTE NO 5 = 50'-4"
ROUTE NO 6 = 44'-6"

PERMITTED DISTANCE: GROUP "I" = 200'-0"  
(WITHOUT SPRINKLERS)

LEGEND
EXISTING SURFACE MOUNTED APPROACH FIRE ALARM PANEL
NEW SURFACE MOUNTED APPROACH FIRE ALARM PANEL
SURFACE MOUNTED FIRE ALARM CALL POINT
SMOKE DETECTOR
ADULT/ VISUAL ALARM
FIRE ALARM PANEL STATION
SMOKE DETECTORS

