



Lexington Reserve at Oak Park

932-970 Madison Ave
Oak Park Illinois

**Enlarged
Elevation**



Modular Course Brick Veneer
With Colored Mortar

Top Of Roof
Elev: +42'-0"

Prefinished Aluminum
Coping

Top Of Parapet
Elev: +35'-0"

Roof High Point
Elev: +31'-4 1/2"

Prefinished Cement Fiber
Panel Cladding At Wall
Recess Between Units

Premium Vinyl Single Hung
Dark Bronze window

Brick Soldier Course

Prefinished Cement Fiber
Panel In Accent Color
At Spandrels

Third Floor
Elev: +19'-10 3/4"

Prefinished Cement Fiber
Panel Cladding With
Extruded Aluminum Panel
Joint Reveals

Cast Stone Sill

Prefinished Aluminum Canopy

Second Floor
Elev: +9'-5 3/8"

Painted Fiberglass Door
With Full Glass Lite

Decorative Painted
Metal Fence

First Floor
Elev: +0'-0"

LexingtonHomes

PAPPAGEORGE
HAYMES

pappageorgehaymes partners
www.pappageorgehaymes.com

April 19, 2018

These plans are schematic and are subject to further refinement for compliance with code required exiting, life safety improvements and coordination with existing systems.

© COPYRIGHT PAPPAGEORGE HAYMES PARTNERS 2018

Lexington Reserve at Oak Park

932-970 Madison Ave
Oak Park Illinois

Buildings 1, 4 & 5 Elevations



Right Side Elevation



Rear Elevation

Material Legend:

1. Modular Size Brick
2. Prefinished Cement Fiber Siding
3. Prefinished Cement Fiber Panel Cladding w/ Extruded Aluminum Panel Joint Reveals
4. Cast Stone Header
5. Cast Stone Sill
6. Prefinished Aluminum Coping
7. Painted metal suspended canopy
8. Single-Hung White Vinyl Window
9. Painted Insulated Fiberglass Door w/ Full Glass Lite
10. Painted Wood Railing
11. Decorative Painted Metal Fence



Left Side Elevation



Front Elevation

LexingtonHomes

PAPPAGEORGE
HAYMES

pappageorgehaymes partners
www.pappageorgehaymes.com

April 19, 2018

These plans are schematic and are subject to further refinement for compliance with code required exiting, life safety improvements and coordination with existing systems.

© COPYRIGHT PAPPAGEORGE HAYMES PARTNERS 2018

Lexington Reserve at Oak Park

932-970 Madison Ave
Oak Park Illinois

Buildings 2, 3 & 6 Elevations



Right Side Elevation



Rear Elevation

Material Legend:

1. Modular Size Brick
2. Prefinished Cement Fiber Siding
3. Prefinished Cement Fiber Panel Cladding w/ Extruded Aluminum Panel Joint Reveals
4. Cast Stone Header
5. Cast Stone Sill
6. Prefinished Aluminum Coping
7. Painted metal suspended canopy
8. Single-Hung White Vinyl Window
9. Painted Insulated Fiberglass Door w/ Full Glass Lite
10. Painted Wood Railing
11. Decorative Painted Metal Fence



Left Side Elevation



Front Elevation

LexingtonHomes

PAPPAGEORGE
HAYMES

pappageorgehaymes partners
www.pappageorgehaymes.com

April 19, 2018

These plans are schematic and are subject to further refinement for compliance with code required egress, life safety improvements and coordination with existing systems.

© COPYRIGHT PAPPAGEORGE HAYMES PARTNERS 2018

Lexington Reserve at Oak Park

932-970 Madison Ave
Oak Park Illinois

Streetscape Elevations



Home Ave Streetscape Elevation



Madison St Streetscape Elevation



Clinton Ave Streetscape Elevation

LexingtonHomes

PAPPAGEORGE
HAYMES

pappageorgehaymes partners
www.pappageorgehaymes.com

April 19, 2018

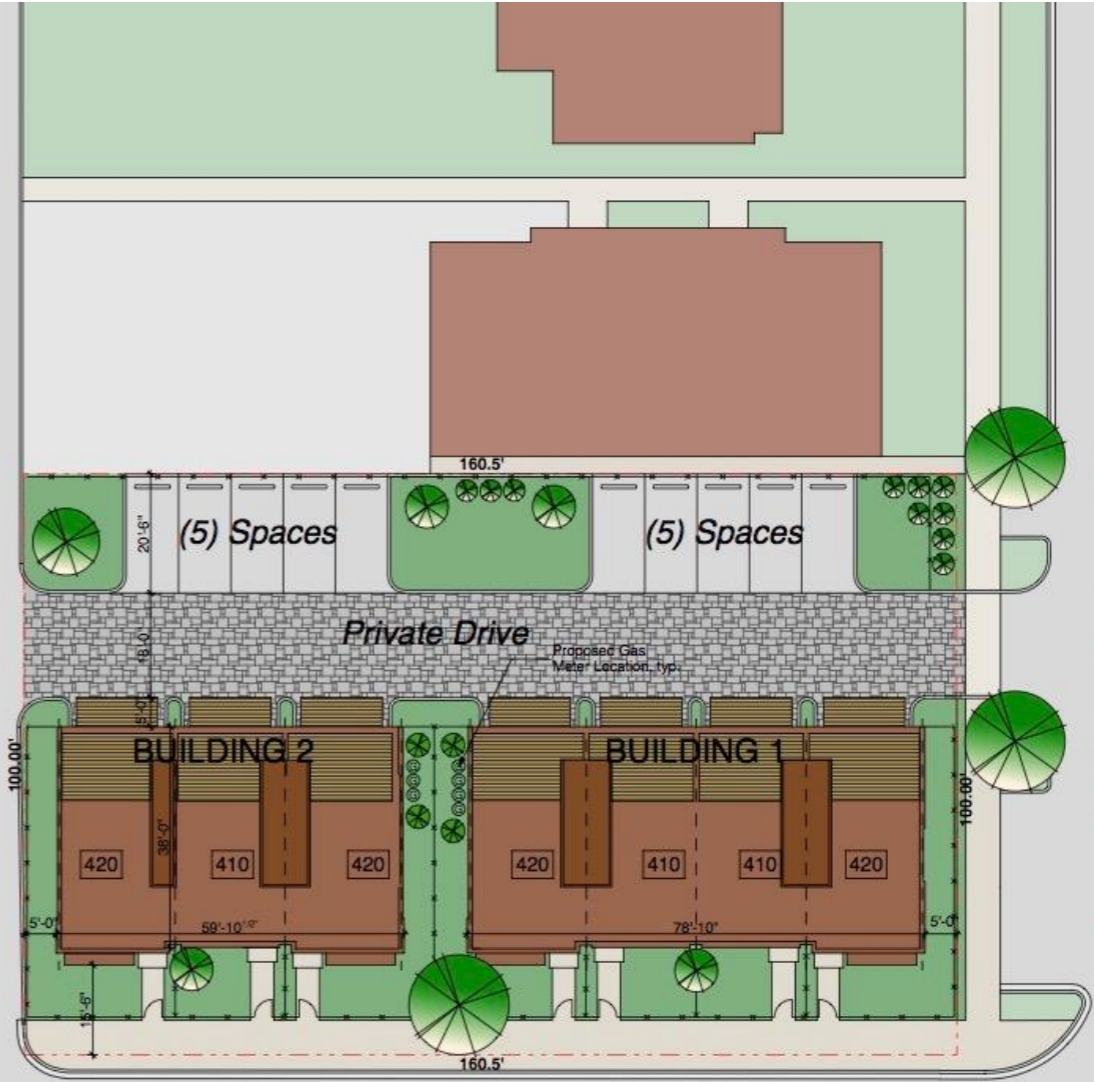
These plans are schematic and are subject to further refinement for compliance with code required egress, life safety improvements and coordination with existing systems.

© COPYRIGHT PAPPAGEORGE HAYMES PARTNERS 2018

HOME AVENUE



18' Public Alley



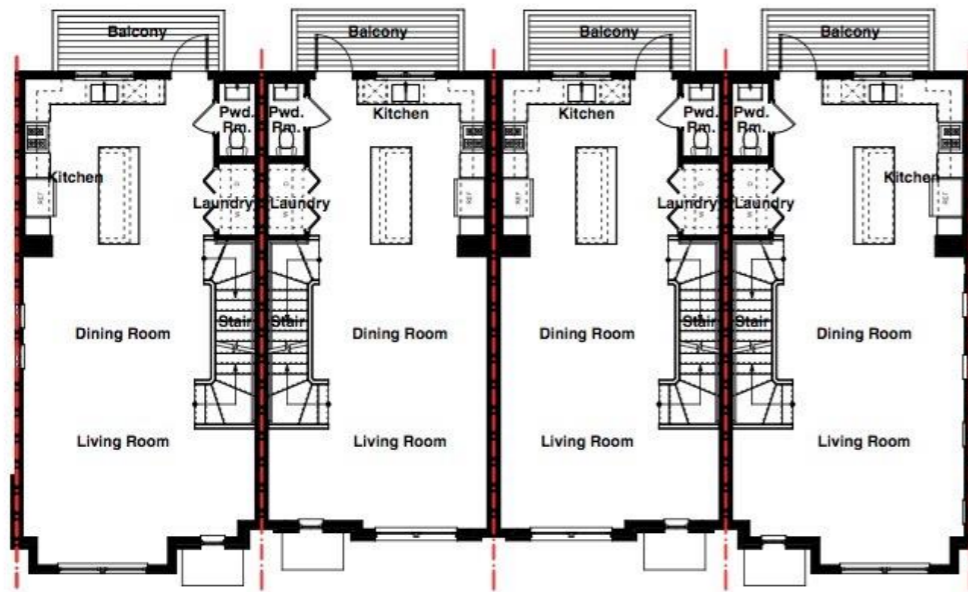
CLINTON AVENUE

MADISON STREET

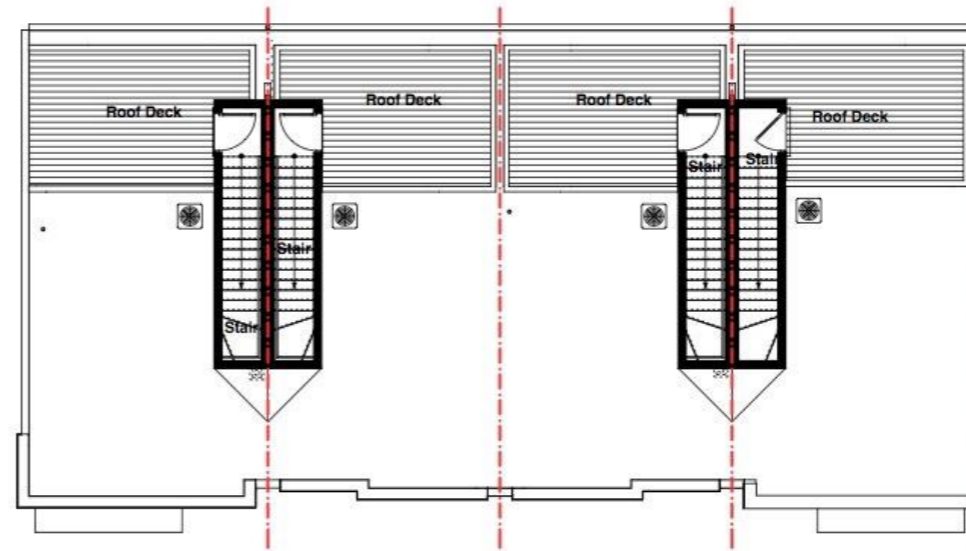
Lexington Reserve at Oak Park

932-970 Madison Ave
Oak Park Illinois

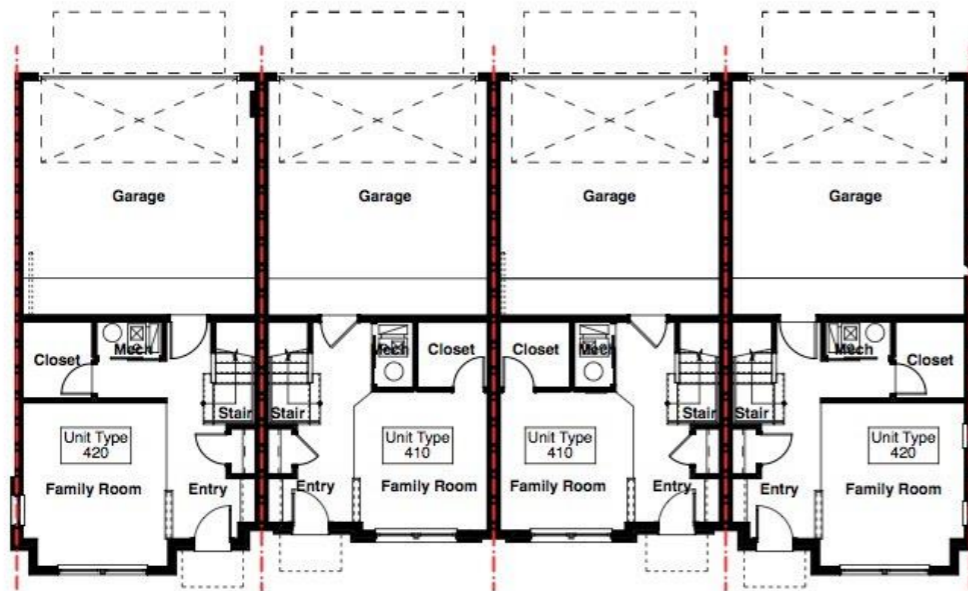
Building 1, 4 & 5 Plans



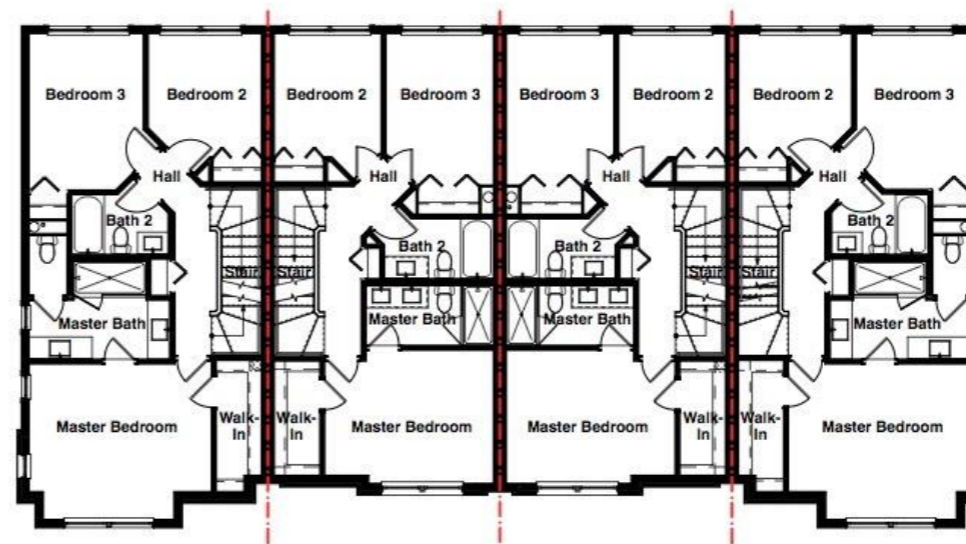
Second Floor



Penthouse Floor



First Floor



Third Floor

LexingtonHomes



pappageorgehaymes partners
www.pappageorgehaymes.com

April 19, 2018

These plans are schematic and are subject to further refinement for compliance with code required egress, life safety improvements and coordination with existing systems.

© COPYRIGHT PAPPAGEORGE HAYMES PARTNERS 2018

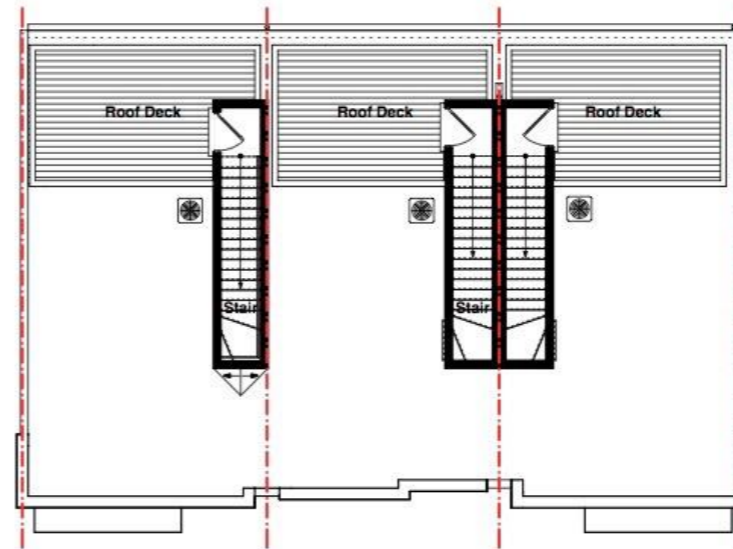
Lexington Reserve at Oak Park

932-970 Madison Ave
Oak Park Illinois

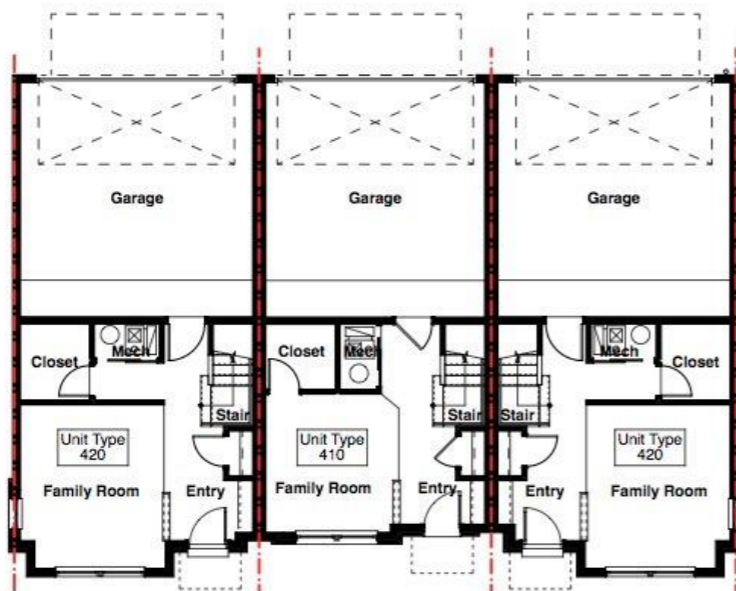
Building 2, 3 & 6 Plans



Second Floor



Penthouse Floor

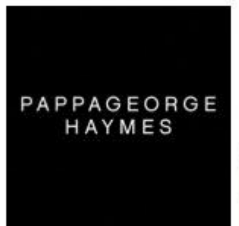


First Floor



Third Floor

LexingtonHomes



pappageorgehaymes partners
www.pappageorgehaymes.com

April 19, 2018

These plans are schematic and are subject to further refinement for compliance with code required egress, life safety improvements and coordination with existing systems.

© COPYRIGHT PAPPAGEORGE HAYMES PARTNERS 2018



LOCATION MAP

ENGINEERING UTILITY PLAN

EXISTING

LEGEND

PROPOSED

- FLARED END SECTION
STORM MANHOLE
STORM INLET
CATCH BASIN
FIRE HYDRANT
VALVE AND VAULT
VALVE BOX
B BOX
SANITARY MANHOLE
STREET LIGHT
PATHWAY LIGHT
STORM SEWER
WATERMAIN
SANITARY SEWER
CONTOUR
SILT FENCE
WOOD FENCE
STEEL FENCE

PARCEL 1: LOTS 13, 14, 15 AND THE SOUTH 10 FEET OF LOT 16 IN BLOCK 3 IN HERRICK & DUNLOP SUBDIVISION OF LOTS 12 TO 17 OF GEO W. SCOVILLE'S SUBDIVISION OF THE EAST 49 ACRES OF THE WEST 129 ACRES OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PERMANENT INDEX NUMBER: 16-07-324-032-0000

COMMONLY KNOWN AS: 970 MADISON, OAK PARK, IL 60302

PARCEL 2: LOTS 11 AND 12 IN BLOCK 3 IN HERRICK'S AND DUNLAP'S SUBDIVISION OF LOTS 12 TO 17, INCLUSIVE IN GEORGE SCOVILLE'S SUBDIVISION OF THE EAST 49 ACRES OF THE WEST 129 ACRES OF THE SOUTHWEST 1/4 (EXCEPT RAILROAD LANDS) OF SECTION 7, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PERMANENT INDEX NUMBER: 16-07-324-024-0000

COMMONLY KNOWN AS: 932-946 MADISON, OAK PARK, IL 60302

NOTES:

- ALL PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED AS DEMONSTRATED HEREON. NO ADDITIONAL STREETSCAPE IMPROVEMENTS REQUIRED. ANY PUBLIC PAVEMENT, CURB OR WALK DAMAGED DURING CONSTRUCTION SHALL BE RESTORED.
- MADISON STREET PARKING LANE TO BE MILLED 2" AND OVERLAID WITH 2" HMA SURFACE COURSE AFTER INSTALLATION OF ALL PRIVATE SERVICES AND SEWER CONNECTIONS COMPLETED. ALL EXISTING TRAFFIC LOOP DETECTORS WITHIN MILL & OVERLAY LIMITS ON MADISON STREET TO BE REPLACED.
- ALL GARBAGE CANS TO BE LOCATED INSIDE GARAGES.
- ADDITIONAL SOIL BORINGS TO BE COMPLETED PRIOR TO START OF FINAL ENGINEERING AND AFTER DEMOLITION OF EXISTING BUILDINGS IS COMPLETED BY THE VILLAGE OF OAK PARK.
- RESPONSIBILITY PER THE REDEVELOPMENT AGREEMENT AND THE DEVELOPER WILL COORDINATE ANY REMEDIATION WORK OR REVISIONS TO THE DESIGN OF THE DRIVEWAYS WITH THE VILLAGE OF OAK PARK.

- PROPOSED CONCRETE APRON 58 SY
- PROPOSED PERMEABLE PAVERS 7,290 SF
- PROPOSED CONCRETE WALK 6,630 SF
- PROPOSED PAVEMENT HMA 210 SY
- PROPOSED 2" MILL & OVERLAY UPON COMPLETION OF SEWER & WATER SERVICE INSTALLATION 402 SY
- PROPOSED TRENCH RESTORATION - FULL DEPTH 362 SY
- PROPOSED GREEN SPACE

DEVELOPMENT AREA STATISTICS

NET DEVELOPMENT AREA		41,669 sf 0.96 ac	
	EXISTING CONDITIONS		PROPOSED CONDITIONS
BUILDING	26,015 sf 0.60 ac 62%	16,322 sf 0.37 ac 39%	
GRAVEL	0 sf 0.00 ac 0%	0 sf 0.00 ac 0%	
PAVEMENT - WALKS	15,404 sf 0.35 ac 37%	6,436 sf 0.15 ac 15%	
TOTAL IMPERVIOUS AREA	41,419 sf 0.95 ac 99%	22,758 sf 0.52 ac 55%	
PERMEABLE PAVERS	0 sf 0.00 ac 0%	7,290 sf 0.17 ac 17%	
GREENSPACE	250 sf 0.01 ac 1%	11,621 sf 0.27 ac 28%	

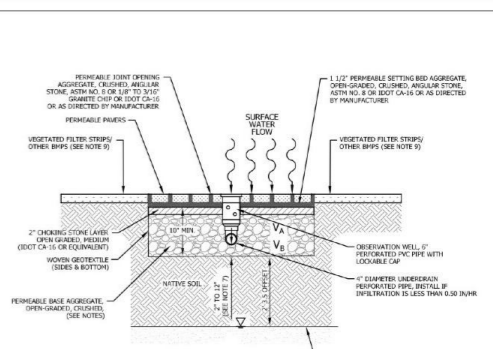
Volume Control Required:

22,758 sf impervious development
x 0.083 ft storage required per sf impervious development
1,897 Volume Control Required

Volume Control Provided:

- 7,290.00 sf Permeable Paver Area
- 40.00 Surface Elevation
- 38.44 Invert of 4" dia Perforated Underdrain
- 38.28 Bottom of Stone Elevation
- 34.20 Seasonally High Groundwater Level
- 4.08 Offset to SHGL

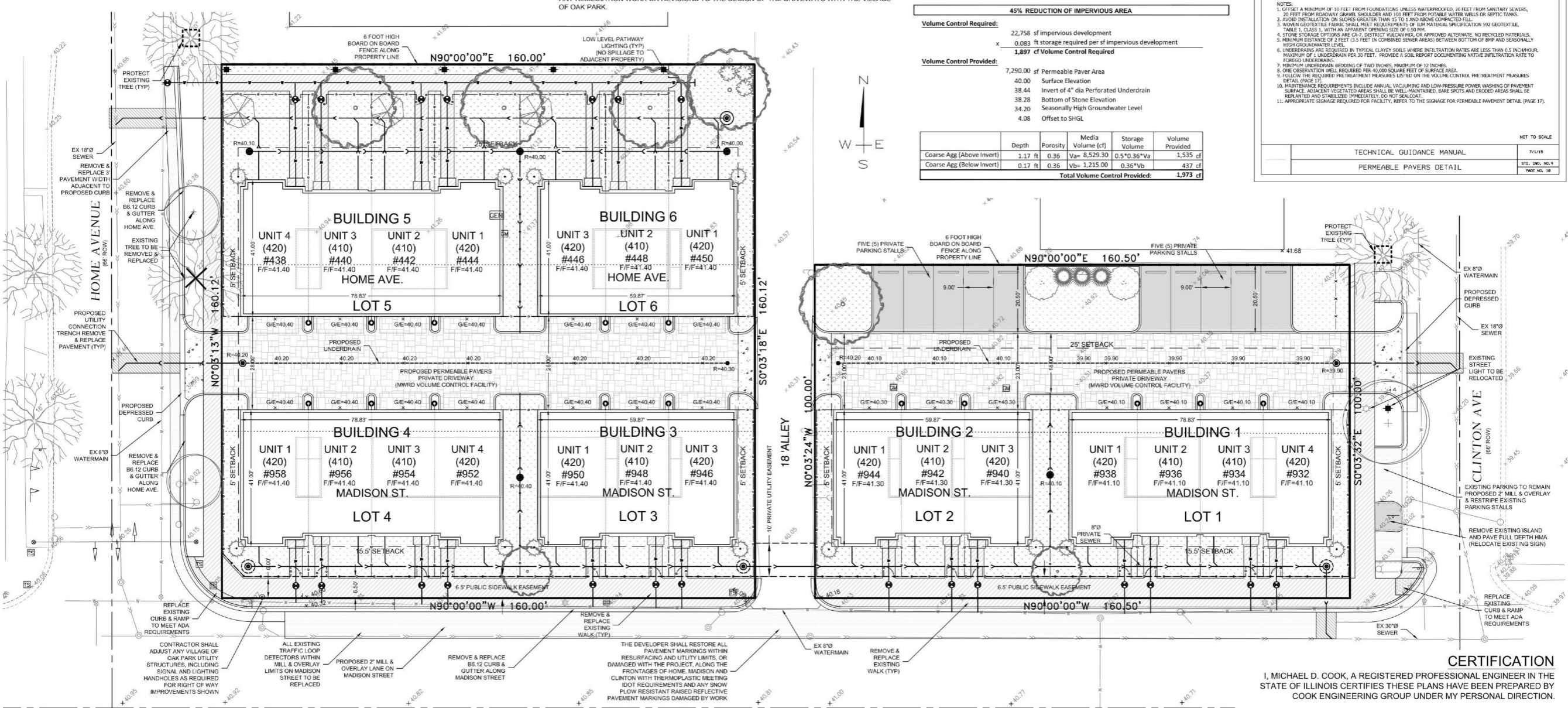
	Depth	Porosity	Media Volume (cf)	Storage Volume	Volume Provided
Coarse Agg (Above Invert)	1.17 ft	0.36	Va= 8,529.30	0.5*0.36*Va	1,535 cf
Coarse Agg (Below Invert)	0.17 ft	0.36	Vb= 1,215.00	0.36*Vb	437 cf
Total Volume Control Provided:					1,973 cf



VOLUME TYPE	POROSITY	MEDIA VOLUME	STORAGE VOLUME	VOLUME PROVIDED
COARSE AGGREGATE (ABOVE INVERT)	0.36	V _a	0.50 x 0.36 x V _a	1,535 CF
COARSE AGGREGATE (BELOW INVERT)	0.36	V _b	0.36 x V _b	437 CF
TOTAL				1,973 CF

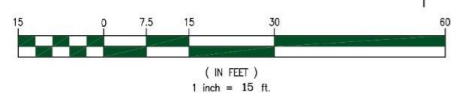
- NOTES:
- OFFSET A MINIMUM OF 30 FEET FROM FOUNDATIONS UNLESS WATERPROOFED; 20 FEET FROM SANITARY SEWERS, 20 FEET FROM ROADWAY GRAVEL SHOULDER AND 100 FEET FROM POTABLE WATER WELLS OR SEPTIC TANKS.
 - AVOID INSTALLATION ON SLOPES GREATER THAN 15 TO 1 AND ABOVE COMPACTED FILL.
 - WORKER GEOTEXTILE FABRIC SHALL MEET REQUIREMENTS OF 80# MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1, CLASS 1, WITH AN APPARENT OPENING SIZE OF 0.50 MM.
 - STONE STORAGE OPTIONS ARE C-2, DISTRICT VULCAN MIX, OR APPROVED ALTERNATE, NO RECYCLED MATERIALS, HIGH CHLORIDE WATER LEVEL.
 - MINIMUM DISTANCE OF 2 FEET (3.5 FEET IN COMBINED SEWER AREAS) BETWEEN BOTTOM OF BMP AND SEASONALLY HIGH GROUNDWATER LEVEL.
 - UNDERDRAINS ARE REQUIRED IN TYPICAL CLAY SOILS WHERE INFILTRATION RATES ARE LESS THAN 0.5 INCH/ HOUR. MINIMUM OF 1 UNDERDRAIN PER 20 FEET. PROVIDE A SOIL BURY DOCUMENTING NATIVE INFILTRATION RATE TO FOREGO UNDERDRAINS.
 - MINIMUM UNDERDRAIN SPACING OF TWO INCHES, MAXIMUM OF 12 INCHES.
 - ONE OBSERVATION WELL REQUIRED PER 40,000 SQUARE FEET OF SURFACE AREA.
 - FOLLOW THE REQUIRED PRETREATMENT MEASURES LISTED ON THE VOLUME CONTROL, PRETREATMENT MEASURES DETAIL (PAGE 17).
 - MAINTENANCE REQUIREMENTS INCLUDE ANNUAL VACUUMING AND LOW PRESSURE POWER WASHING OF PAVEMENT SURFACE. ADVANCED TREATMENT AREAS SHALL BE WELL MAINTAINED. DARK SPOTS AND EXPOSED AREAS SHALL BE REPAINTED AND STABILIZED IMMEDIATELY. DO NOT SEALCOAT.
 - APPROPRIATE SIGNAGE REQUIRED FOR FACILITY. REFER TO THE SIGNAGE FOR PERMEABLE PAVEMENT DETAIL (PAGE 17).

TECHNICAL GUIDANCE MANUAL 7/1/15
PERMEABLE PAVERS DETAIL STD. DWG. NO. 1 PAGE NO. 18



CERTIFICATION

I, MICHAEL D. COOK, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS CERTIFIES THESE PLANS HAVE BEEN PREPARED BY COOK ENGINEERING GROUP UNDER MY PERSONAL DIRECTION.





HOME AVENUE

18' ALLEY

CLINTON AVENUE

MADISON STREET

CLINTON AVE

PARCEL 1

PARCEL 2

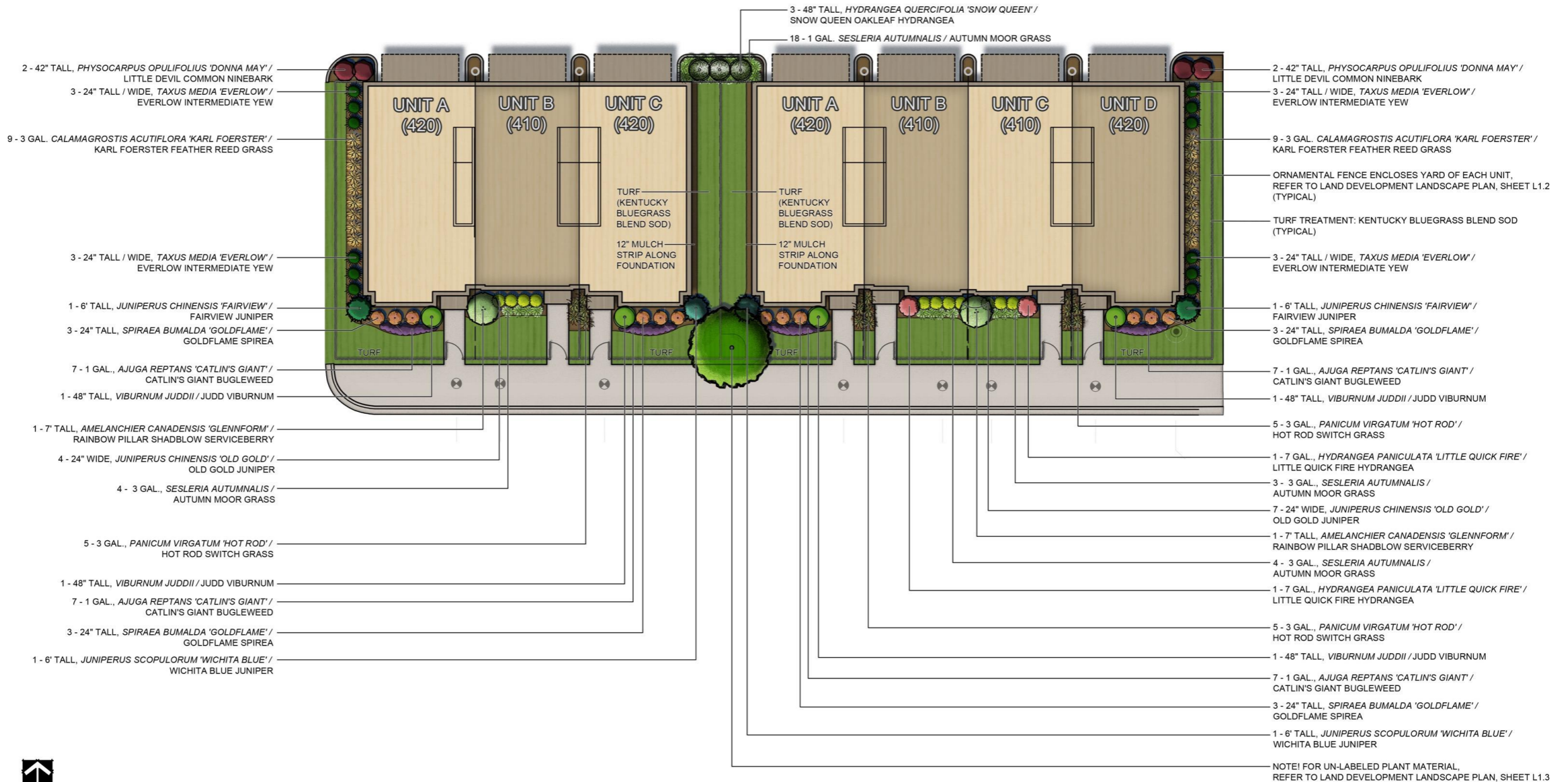


NORTH

LANDSCAPE PLAN - LAND DEVELOPMENT

SCALE: 1" = 15'-0"



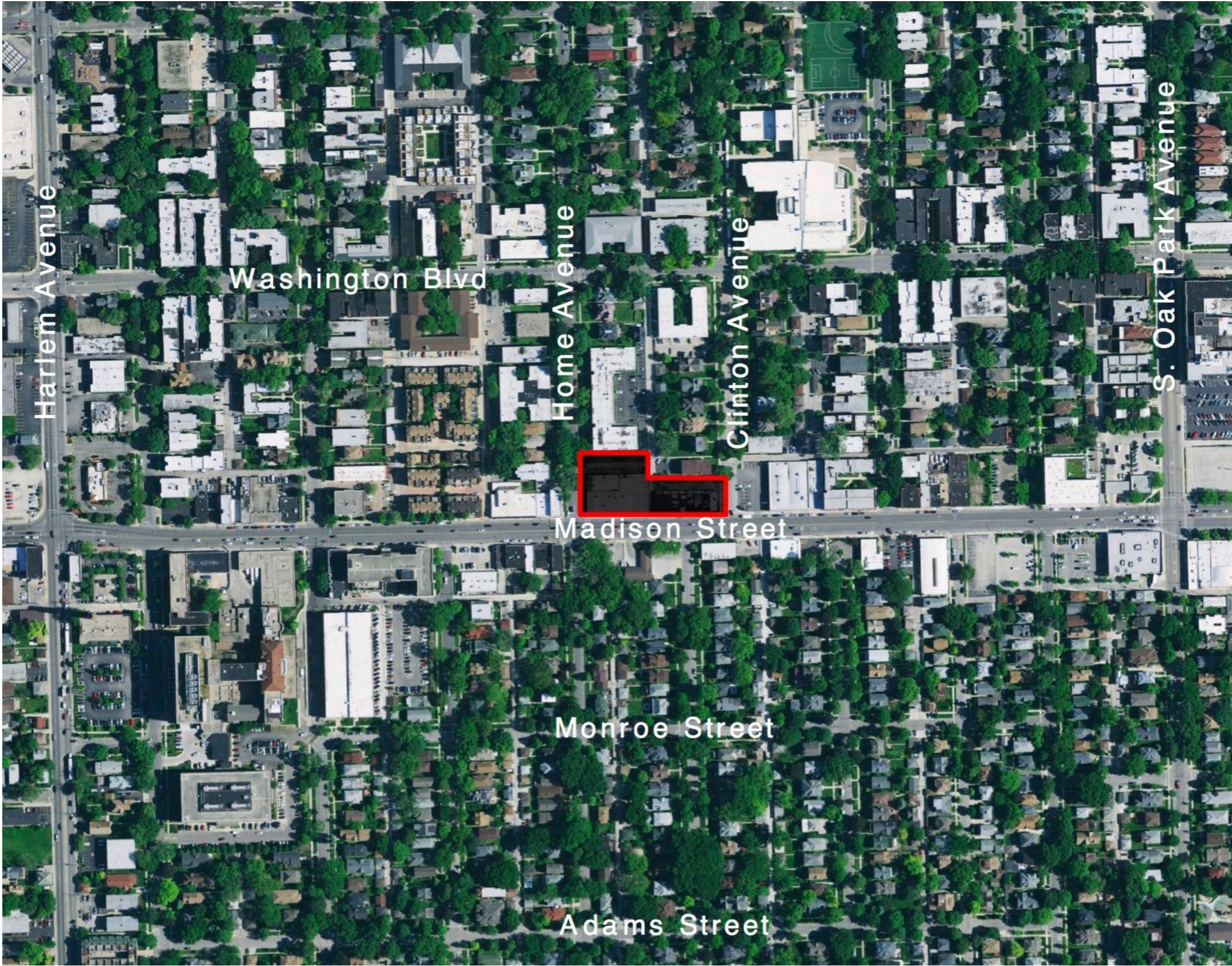


NORTH

LANDSCAPE PLAN - HOUSE FOUNDATIONS

SCALE: 1" = 10'-0"





Harlem Avenue

Washington Blvd

Home Avenue

Clinton Avenue

S. Oak Park Avenue

Madison Street

Monroe Street

Adams Street