

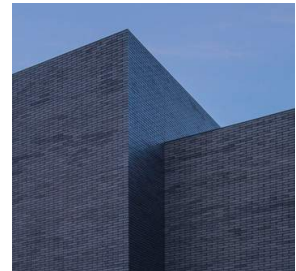
7 Van Buren Development - View from East



7 Van Buren Development - Exterior Building Materials Representation



1 | WOOD-LOOK METAL PANEL



2 | SMOOTH IRONSPOT BRICK



3 | INTERLOCKING METAL PANEL
DARK GREY



4 | PHOTOVOLTAIC ARRAY



EAST-WEST STREESCAPE ELEVATION ALONG VAN BUREN ST.



NORTH-SOUTH STREESCAPE ELEVATION ALONG S. AUSTIN BLVD.

WARE MALCOMB

CIVIL ENGINEERING
ARCHITECTURE
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BRANDS
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1312 25th St. #410
Oak Park, IL 60304
P: 708.228.0063
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SYNERGY - 7 VAN BUREN

7 VAN BUREN AVENUE
OAK PARK, ILLINOIS 60304

EXTERIOR ELEVATIONS

REMARKS

DATE

06-07-2021

1

PA/PM:

J. DALGA

DRAWN BY:

M.I.

JOB NO.:

CHI21-0119-00

SHEET

A4.1

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NORTH WEST SIDE PERSPECTIVE

SCALE:

2

3/16"=1'-0"

0 2' 4' 8' 12' 24'



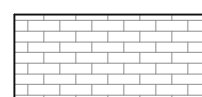
NORTH EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"

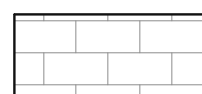
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LEGEND

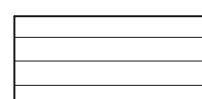
FINISH MATERIALS:



BRICK 02: UNIT MASONRY- STANDARD BRICK UNIT



BURNISHED BLOCK 02: UNIT MASONRY- BURNISHED BLOCK



MTL PANEL 01: METAL STRUCTURAL WALL PANEL 4" EXPOSURE



MTL PANEL 02: METAL STRUCTURAL WALL PANEL 12" EXPOSURE

GLASS:



VISION GLASS



TEMPERED GLASS

SEE MAJOR ASSEMBLY NOTES ON SHEET A0.1a FOR ADDITIONAL INFORMATION ABOUT CONSTRUCTION OF EXTERIOR WALLS

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 236 PRE-FINISHED ALUMINUM COLUMN COVERS.
241 PREFINISHED PERFORATED METAL PRIVACY SCREEN IN PREFINISHED METAL FRAME.
242 GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM- ATTACHED TO BALCONY EDGE.
310 SOLAR PANELS.
407 METAL CANOPY, PAINTED.
419 TRIPLE PANEL, ARGON FILLED, LOW E COATING.
504 PRE-FABRICATED METAL BALCONY SYSTEM WITH COMPOSITE DECKING AND 4" REVEAL WOOD-LOOK METAL CEILING SYSTEM.
505 UNIT MASONRY-STANDARD BRICK UNIT.
506 UNIT MASONRY-BURNISHED BLOCK.
508 GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM-ATTACHED TO PARAPET WALL.
509 METAL STRUCTURAL WALL PANEL 4" EXPOSURE.
511 STEEL COLUMN AND BEAM SUPPORT SYSTEM FOR PV ARRAY AND SUB-GIRT RACK SYSTEM.

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ARCHITECTURE
PLANNING
BRIDGING
INTERIORS



SYNERGY - 7 VAN BUREN

7 VAN BUREN AVENUE
OAK PARK, ILLINOIS 60304

EXTERIOR ELEVATION

REMARKS

DATE

09-07-2021

PROGRESS SET

1

P/APP: J. DALGA

DRAWN BY: M.I.

JOB NO.: CH121-0119-00

SHEET

A4.2

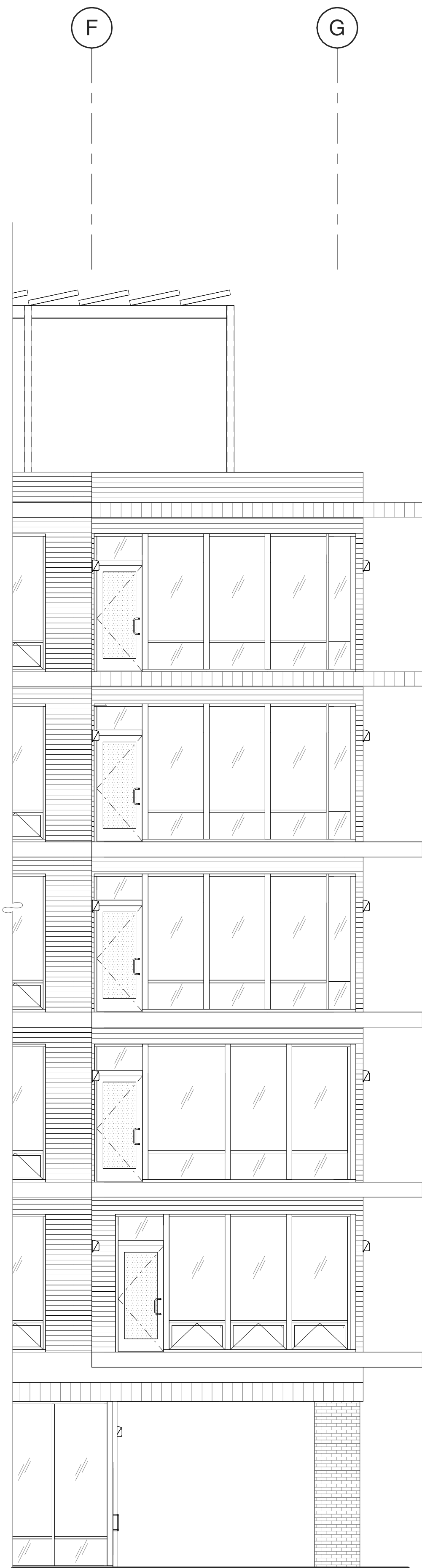
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**EAST EXTERIOR ELEVATION
(UNOBSTRUCTED)**

SCALE: 3/16" = 1'-0"

②



**EAST EXTERIOR ELEVATION
(UNOBSTRUCTED)**

SCALE: 3/16" = 1'-0"

③



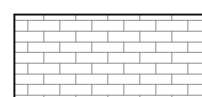
EAST EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"

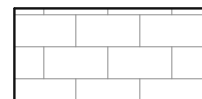
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LEGEND

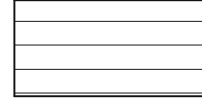
FINISH MATERIALS:



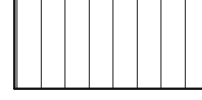
BRICK 02: UNIT MASONRY- STANDARD BRICK UNIT



BURNISHED BLOCK 02: UNIT MASONRY- BURNISHED BLOCK



MTL PANEL 01: METAL STRUCTURAL WALL PANEL 4" EXPOSURE

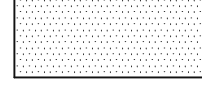


MTL PANEL 02: METAL STRUCTURAL WALL PANEL 12" EXPOSURE

GLASS:



VISION GLASS



TEMPERED GLASS

SEE MAJOR ASSEMBLIES NOTES ON SHEET A0.1a FOR ADDITIONAL INFORMATION ABOUT CONSTRUCTION OF EXTERIOR WALLS

KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

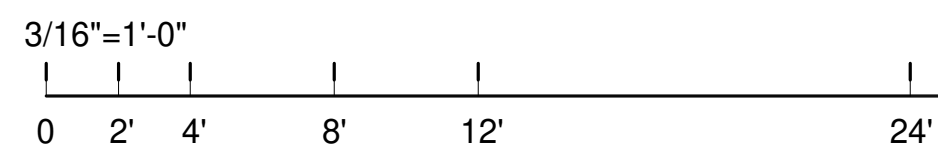
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508 GLASS PANEL AND VERTICAL METAL SUPPORT GUARDRAIL SYSTEM-ATTACHED TO PARAPET WALL.
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511 STEEL COLUMN AND BEAM SUPPORT SYSTEM FOR PV ARRAY AND SUB-GIRT RACK SYSTEM.
603 FACE MOUNTED DECORATIVE PAINTED STEEL GUARD, UP TO 42" ABOVE FINISH FLOOR.



SOUTH EAST SIDE PERSPECTIVE

SCALE:

②



SOUTH EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"

①

LEGEND

FINISH MATERIALS:

- BRICK 02: UNIT MASONRY- STANDARD BRICK UNIT
- BURNISHED BLOCK 02: UNIT MASONRY- BURNISHED BLOCK
- MTL PANEL 01: METAL STRUCTURAL WALL PANEL 4" EXPOSURE
- MTL PANEL 02: METAL STRUCTURAL WALL PANEL 12" EXPOSURE

GLASS:

- VISION GLASS
- TEMPERED GLASS

SEE MAJOR ASSEMBLIES NOTES ON SHEET A0.1a FOR ADDITIONAL INFORMATION ABOUT CONSTRUCTION OF EXTERIOR WALLS

KEYNOTES:

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- 603 FACE MOUNTED DECORATIVE PAINTED STEEL GUARD, UP TO 42" ABOVE FINISH FLOOR.

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EXTERIOR ELEVATION

REMARKS

DATE 09-07-2021

PROGRESS SET

1

PAPM:

J. DALGA

DRAWN BY:

M.I.

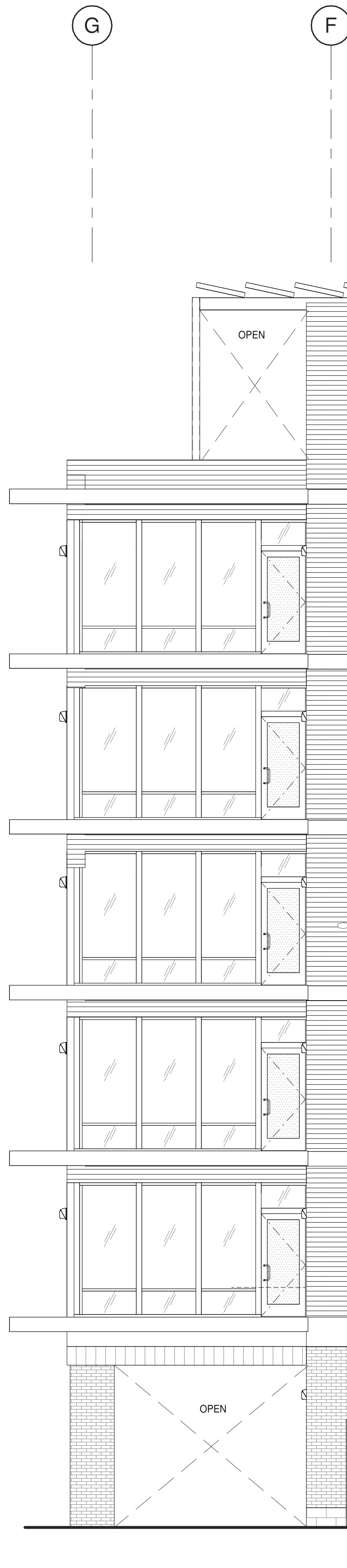
JOB NO.:

CHI21-0119-00

SHEET

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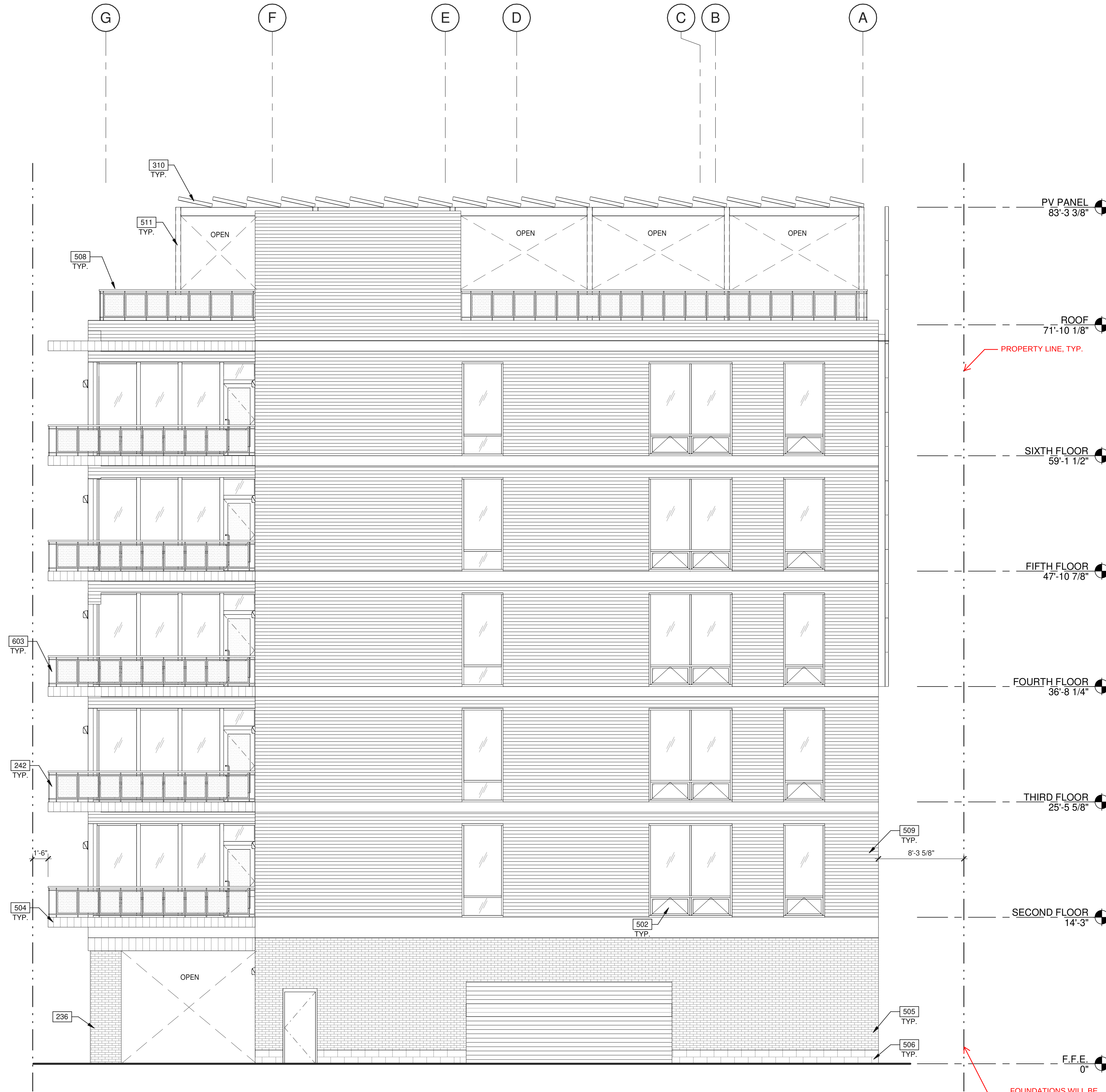
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WEST EXTERIOR ELEVATION (UNOBSTRUCTED)

SCALE: 3/16" = 1'-0"

2



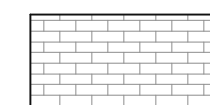
WEST EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"

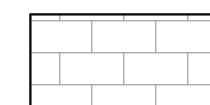
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LEGEND

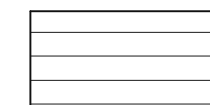
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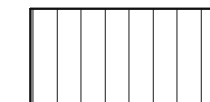
BRICK 02: UNIT MASONRY- STANDARD BRICK UNIT



BURNISHED BLOCK 02: UNIT MASONRY- BURNISHED BLOCK



MTL PANEL 01: METAL STRUCTURAL WALL PANEL 4" EXPOSURE



MTL PANEL 02: METAL STRUCTURAL WALL PANEL 12" EXPOSURE

GLASS:



VISION GLASS



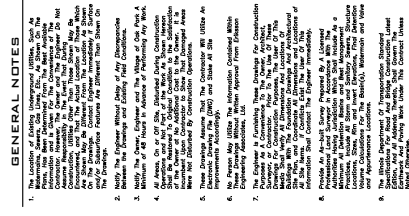
TEMPERED GLASS

SEE MAJOR ASSEMBLY NOTES ON SHEET A0.1a FOR ADDITIONAL INFORMATION ABOUT CONSTRUCTION OF EXTERIOR WALLS

KEYNOTES:

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KEYNOTES:

SEE SHEET A0.2 FOR GENERAL NOTES

- 201 STRUCTURAL CONCRETE COLUMN.
202 CONCRETE SLAB ON GRADE SEALED. SEE STRUCTURAL DRAWINGS.
207 ROOF ACCESS LADDER.
208 OUTLINE OF CANOPY ABOVE.
234 PARKING STRIPING.
236 PRE-FINISHED ALUMINUM COLUMN COVERS.
237 MACHINE-ROOMLESS 3500 LB PASSENGER ELEVATOR - SPEED 500 FPM. VERIFY ELEVATOR FIT AND OVERRUN REQUIREMENTS WITH MANUFACTURER. FINISHES TO BE SELECTED FROM RANGE OF STANDARD FINISHES.

WALL LEGEND

- CONCRETE MASONRY WALL
EXTERIOR PLASTER FINISH OVER METAL STUD WALL
EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
1HR FIRE-RESISTANCE RATED
INTERIOR NON-RATED PARTITION

BUILDING ELEMENT TYPE

EXTERIOR WALL TYPES

- E01 CEMENT BOARD ON CMU BACK-UP WALL.
E02 ADHERED BRICK OR BURNISHED BLOCK VENEER ON CMU BACKUP WALL.
E03 BRICK AND BURNISHED BLOCK ON CMU BACK UP WALL.
E04 METAL PANEL ON CMU BACK-UP WALL.
E05 METAL PANEL ON FIRE RATED WOOD FRAMED BACK UP WALL.

INTERIOR WALL TYPES

- A MS-5/8"
A0B MS-5/8"
B WD-5/8"
0BN WD-5/8"-1/2HR
1BN WD-5/8"-1/2HR
F WD-5/8"
0FN WD-5/8"
H WD-5/8"
H0HN WD-5/8"
0HP WD-5/8"
1HN WD-5/8"-1/2HR
J WD-5/8"-1/2HR
1JP WD-5/8"-1/2HR
M CMU
0MH CMU-2HR
2MF CMU-2HR
2MH CMU-2HR
P CMU-2HR
1PQ WD-5/8"-1/2HR
1PR WD-5/8"-1/2HR
S WD-5/8"-2HR
2SN WD-5/8"-2HR
2SP WD-5/8"-2HR

FLOOR TYPES

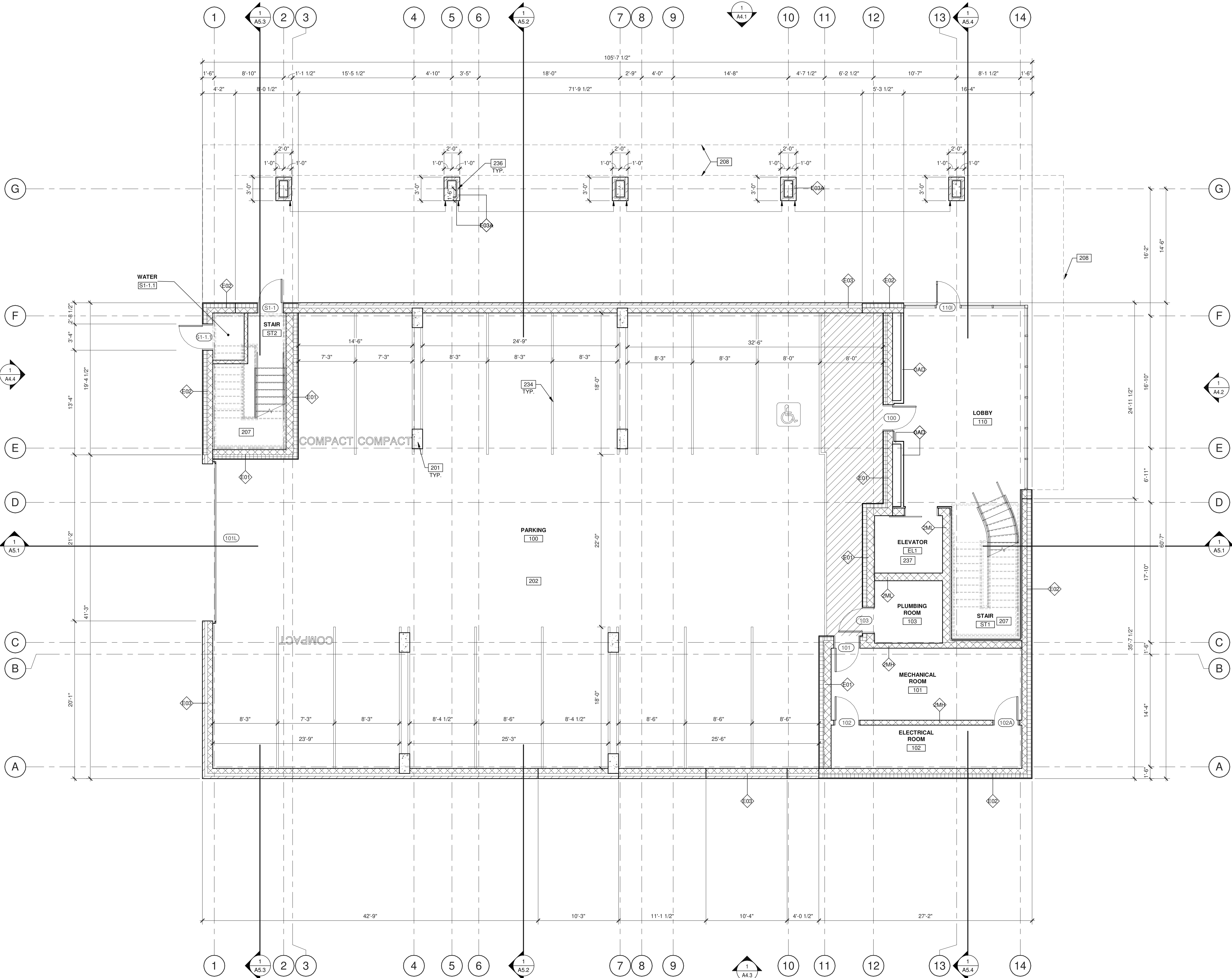
- F01 CONCRETE SLAB ON GRADE.
F02 PRE-ENGINEERED WOOD TRUSS
F03 PRE-CAST CONCRETE W/ FLOATING FLOOR.
F04 WOOD FRAMED FLOOR.

CEILING TYPES

- C01 5/8" GYPSUM BOARD OVER 2"x4" CEILING JOIST.

ROOF TYPES

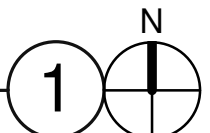
- R01 ENGINEERED WOOD TRUSS W/ TPO.
R02 NOMINAL LUMBER FRAMING W/ TPO.
R03 NOMINAL WOOD FRAMING W/ TPO.



3/16"=1'-0"
0 2' 4' 8' 12' 24'

FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



SYNERGY - 7 VAN BUREN

7 VAN BUREN AVENUE
OAK PARK, ILLINOIS 60304

FIRST FLOOR OVERALL FLOOR PLAN

DATE 09-07-2021 PROGRESS SET

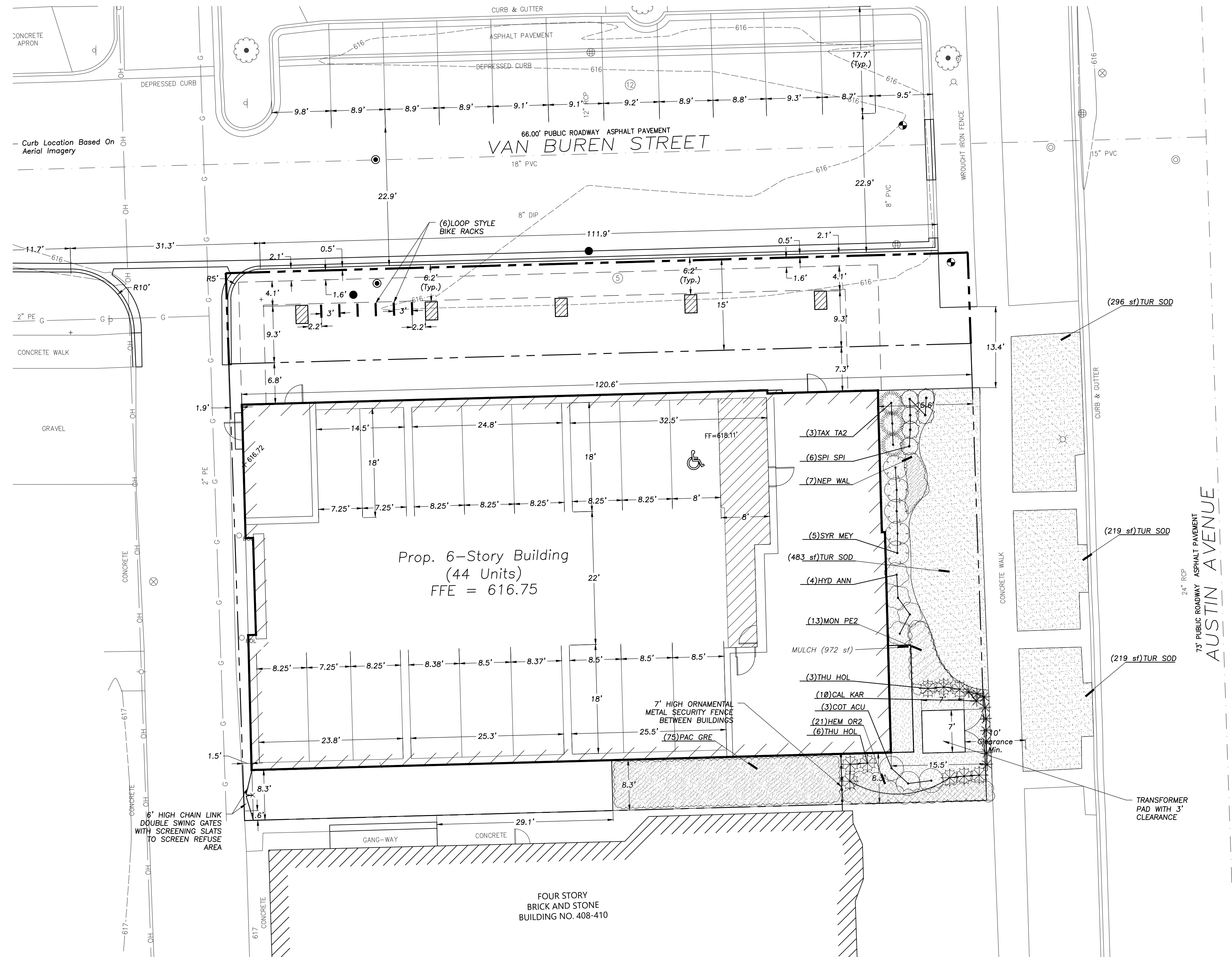
PAPM: J. DALGA

DRAWN BY: M.I.

JOB NO.: CH121-0119-00

SHEET

A2.1



PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
COT ACU	COTONEASTER ACUTIFOLIUS / PEKING COTONEASTER	5 GAL		3
HYD ANN	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA	CONT.	#5	4
SPI SPI	SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	B & B	24" HT.	6
SYR MEY	SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC	B & B	30" HT.	5
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
TAX TA2	TAXUS X MEDIA 'TAUNTONI' / TAUNTON YEW	B & B	30" HT.	3
THU HOL	THUJA OCCIDENTALIS 'HOLMSTRUP' / HOLMSTRUP CEDAR	5 GAL		9
GRASSES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		10
GROUND COVERS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
HEM OR2	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	CONT.	#1	21
MON PE2	MONARDA DIDYMA 'PETITE DELIGHT' / PETITE DELIGHT BEE BALM	CONT.	QUART	13
NEP WAL	NEPETA X FAASSENII 'WALKERS LOW' / WALKERS LOW CATMINT	CONT.	QUART	7
PAC GRE	PACHYSANDRA TERMINALIS 'GREEN CARPET' / JAPANESE SPURGE	CONT.	QUART	75
TURF GRASS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY
TUR SOD	TURF SOD / KENTUCKY BLUEGRASS	SOD	S.F.	1,217 SF

LANDSCAPE NOTES

- PLANT QUALITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUALITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED/CROOKED/DISTORTED LEADERS, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED HARDWOOD MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SOD AS A GROUNDCOVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED AND BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE S75 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL, SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- LAWN AND BED AREAS SHALL BE ROTOTILLED, RAKED OF CLUMPS AND DEBRIS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- THE VILLAGE FORESTER SHALL BE PROVIDED THE OPPORTUNITY TO TAG ALL TREES AND WOODY MATERIAL USED IN THE ROW. MATERIAL WHICH HAS NOT BE TAGGED BY THE FORESTER MAY BE REJECTED AND RETURNED AT NO EXPENSE. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE FORESTER. THE FORESTER SHALL HAVE THE OPTION TO SELECT THE HERBACEOUS MATERIALS IN THE ROW.

TREE PRESERVATION NOTES

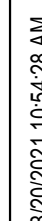
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- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
- PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE.
- TREE SYMBOL WITH NUMBER AND AN "X" INDICATES EXISTING TREE TO BE REMOVED.

MULCH SCHEDULE

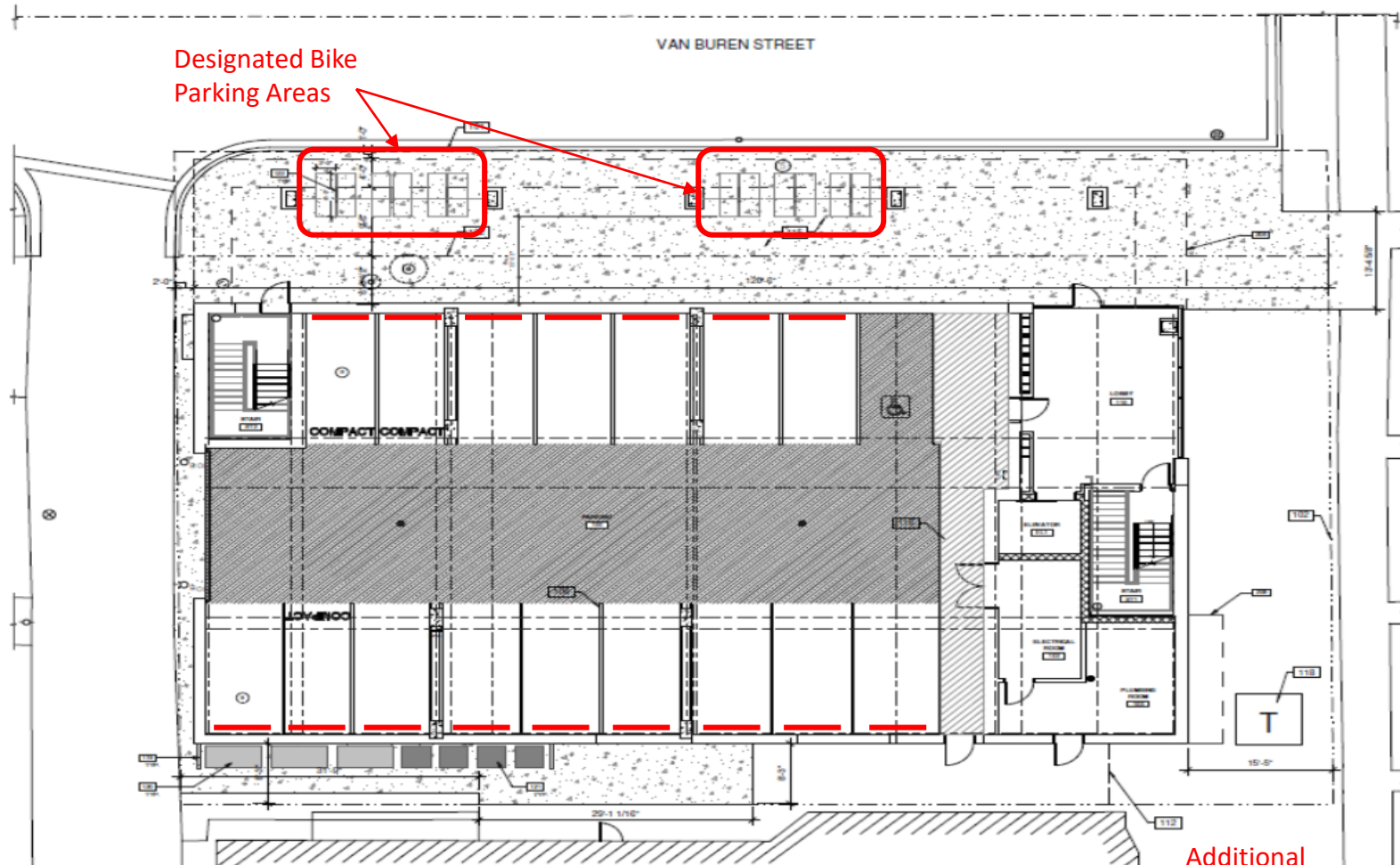
MULCH	972 SF
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LANDSCAPE PLAN	
DATE	REMARKS
2021-08-23	PD APPLICATION
2021-09-07	PERMIT SUBMITTAL

PA/PM:	BJA
DRAWN BY.:	SSG
JOB NO.:	CH21-0119-00



7 Van Buren – Bicycle Parking



— = Opportunity for Wall-Mounted Bicycle Storage

Additional
Bicycle Storage
in Apartment
Units