

Village of Oak Park  
Capital Improvement Program  
2023 - 2027

Project: <u>Public Works Center Wash Bay Floor Drain Upgrades</u>	Priority Code: <u>A</u>	Category: <u>Building Improvements</u>
		

Description:

This project involves improving the Public Works Center wash bay floor drains.

Justification:

The current floor drain system in the Public Works Center wash bay is not sufficient in size and capacity to properly drain the wash bay floor. The wash bay is used on a daily basis and the floor drains frequently become clogged with debris. Also, water often leaks into the occupied space (Water & Sewer Supervisor's office) beneath the wash bay in the lower level when the wash bay floor gets flooded.

Current Status:

A new traffic coating membrane was installed on the wash bay floor in 2017 which has mitigated the water leaks below the floor. However, the drains continue to back up often. Work was planned for 2021 but was delayed due to COVID-19. Work planned for 2022 would include engineering work for design (\$19,500). Work planned for 2023 would include installation of new drainage system, as well as new piping and concrete. Estimated costs for design work in 2022 are \$17,000. The balance (\$2,500) would be carried over into 2023 for additional engineering support during construction (for reviewing submittals, answering RFIs, and two site visits).

Funding Sources	Account Number	Actuals		Project Budget		Amended Budget		Year End Estimate				Recommended Budget			
		FY 2020	FY 2021	FY 2022	FY 2022	FY 2022	FY 2022	FY 2022	FY 2022	FY 2023	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027
Transfer From OIP Fund #3095	3012-41300-101-491495	-	-	20,000	20,000	20,000	20,000	20,000	17,000	175,000	175,000	-	-	-	-
Total:		-	-	20,000	20,000	20,000	20,000	20,000	17,000	175,000	175,000	-	-	-	-
Expenditures															
Design	3012-43790-101-540673	-	-	-	20,000	20,000	20,000	20,000	17,000	2,500	-	-	-	-	-
Construction	3012-43790-101-540673	-	-	-	-	-	-	-	-	172,500	-	-	-	-	-
Total:		-	-	-	20,000	20,000	20,000	20,000	17,000	175,000	175,000	-	-	-	-



**Bid Summary for Village of Oak Park Public Works Center Wash Bay Drainage Improvements**  
**1/13/2023**

Company	M/D/WBE	Total Cost
D. Kersey Construction	No	\$ 134,400.00
Tandem Construction	No	\$ 148,000.00





Office of the Secretary of State Jesse White  
**ilsos.gov**

## Corporation/LLC Search/Certificate of Good Standing

### Corporation File Detail Report

File Number	68173388
Entity Name	D KERSEY CONSTRUCTION CO.
Status	ACTIVE

#### Entity Information

Entity Type  
CORPORATION

Type of Corp  
DOMESTIC BCA

Incorporation Date (Domestic)  
Friday, 20 January 2012

State  
ILLINOIS

Duration Date  
PERPETUAL

#### Agent Information

Name



DOUGLAS L KERSEY

Address

4130 TIMBERLANE DR  
NORTHBROOK , IL 60062

Change Date

Friday, 20 January 2012

## Annual Report

Filing Date

Thursday, 1 December 2022

For Year

2023

## Officers

President

Name & Address

DOUGLAS L KERSEY 4130 TIMBERLANE DR NORTHBROOK 60062

Secretary

Name & Address

BRIAN D KERSEY 33 N GRACE PARK RIDGE IL 60068

[Return to Search](#)

[File Annual Report](#)

[Adopting Assumed Name](#)

[Articles of Amendment Effecting A Name Change](#)

[Change of Registered Agent and/or Registered Office](#)

(One Certificate per Transaction)



**SECTION IV**  
**PROPOSAL FORM (Pricing)**

The undersigned proposes to furnish all labor and materials required to complete the Work in accordance with the attached specifications and at the price indicated below.

**Total Lump Sum Cost Base Proposal:** \$ 134,400<sup>00</sup>

*If proposing any alternates based on anything that could potentially be improved on, please list below along with alternate cost.*

*List Alternates (if any) or include as separate attachment:*

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**Alternate(s) Cost:** \$ \_\_\_\_\_

**24-Hour Emergency Call-back Number:**

(847 ) 847-564-3193

**Printed Name:** Douglas L. Kersey

**Proposal Signature:** \_\_\_\_\_

**State of** Illinois **)** **County of** Cook **)**

Douglas L. Kersey - President

(Type Name of Individual Signing)

being first duly sworn on oath deposes and says that the contractor on the above proposal is organized as indicated below and that all statements herein made on behalf of such Contractor and that their deponent is authorized to make them, and also deposes and says that deponent has examined and carefully prepared their proposal from the agreement specifications and has checked the same in detail before submitting this proposal; that the statements contained herein are true and correct.

Signature of contractor authorizes the Village of Oak Park to verify references of business and credit at its option.

Signature of contractor shall also be acknowledged before a Notary Public or other person authorized by law to execute such acknowledgments.



Dated: January / 13 / 2023  
~~2022~~

Organization Name  
(Seal - If Corporation)

By:

Authorized Signature

4130 Timberlane Drive, Northbrook, IL 60062

Address

Telephone: 847-919-4980

Subscribed and sworn to before me this 13th day of January 2023,  
2022.

Commission  
Notary Public

in the State of ILLINOIS. My

Expires on 9 / 24 / 2024



Complete Applicable Paragraph Below

(a) Corporation

The contractor is a corporation, which operates under the legal name of  
D Kersey Construction Co. and is organized and existing under the laws of the State of  
Illinois. The full names of its Officers are:

President Douglas L. Kersey

Secretary Brian D . Kersey

Treasurer Brian D . Kersey

The corporation does have a corporate seal. (In the event that this proposal is executed by a person other than the President, attach hereto a certified copy of that section of Corporate By-Laws or other authorization by the Corporation that permits the person to execute the offer for the corporation.)

(b) Partnership

Names, Signatures, and Addresses of all Partners

\_\_\_\_\_  
\_\_\_\_\_

The partnership does business under the legal name of \_\_\_\_\_, which name is

is registered with the office of \_\_\_\_\_ in the county of

\_\_\_\_\_.



(c) Sole Proprietor

The contractor is a Sole Proprietor whose full name is

\_\_\_\_\_. If the contractor is operating under

a trade name, said trade name is \_\_\_\_\_,

which name is registered with the office of \_\_\_\_\_

in the county of \_\_\_\_\_.

Signed: \_\_\_\_\_

Sole Proprietor

In compliance with the above, the undersigned offers and agrees, if his/her proposal is accepted within ninety (90) calendar days from date of opening, to furnish any or all of the items upon which prices are quoted, at the price set opposite each item, delivered at the designated point within the time specified above.



**MUNICIPAL QUALIFICATION REFERENCE SHEET**

**MUNICIPALITY**

SEE ATTACHED REFERENCES

**ADDRESS**

**CONTACT**

**PHONE**

**WORK  
PERFORMED**

**MUNICIPALITY**

**ADDRESS**

**CONTACT**

**PHONE**

**WORK  
PERFORMED**

**MUNICIPALITY**

**ADDRESS**

**CONTACT**

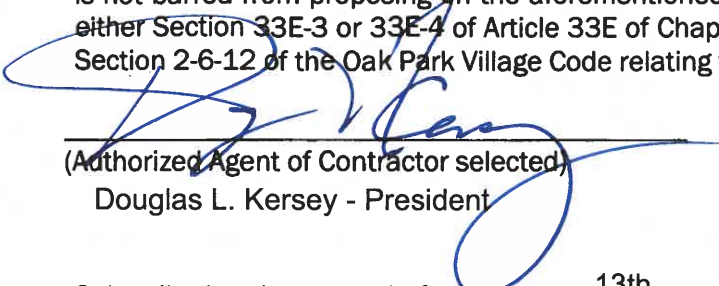
**PHONE**

**WORK  
PERFORMED**



**SECTION V**  
**CONTRACTOR CERTIFICATION**

D Kersey Construction Co., as part of its proposal on an agreement for construction Work  
(Name of Contractor selected) for the Village of Oak Park, hereby certifies that said contractor selected  
is not barred from proposing on the aforementioned agreement as a result of a violation to  
either Section 33E-3 or 33E-4 of Article 33E of Chapter 38 of the Illinois Revised Statutes or  
Section 2-6-12 of the Oak Park Village Code relating to "Proposing Requirement.

  
(Authorized Agent of Contractor selected)

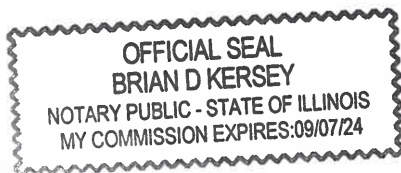
Douglas L. Kersey - President

Subscribed and sworn to before me this 13th day of January 2023, ~~2022~~.



Notary Public's Signature

- Notary Public Seal -





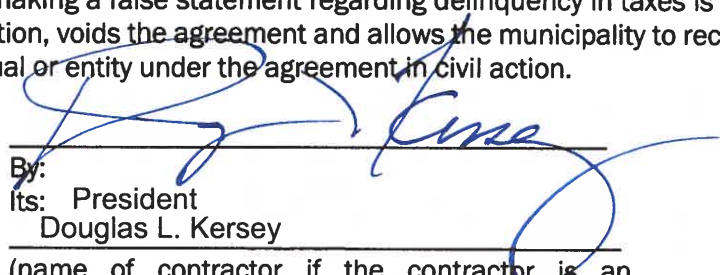
**SECTION VI**  
**TAX COMPLIANCE AFFIDAVIT**

Douglas L. Kersey  
\_\_\_\_\_, being first duly sworn, deposes and  
says:

that he/she is President  
\_\_\_\_\_  
(partner, officer, owner, etc.) of

D Kersey Construction Co.  
\_\_\_\_\_  
(Contractor selected)

The individual or entity making the foregoing proposal or proposal certifies that he/she is not barred from entering into an agreement with the Village of Oak Park because of any delinquency in the payment of any tax administered by the Department of Revenue unless the individual or entity is contesting, in accordance with the procedures established by the appropriate revenue act, liability for the tax or the amount of the tax. The individual or entity making the proposal or proposal understands that making a false statement regarding delinquency in taxes is a Class A Misdemeanor and, in addition, voids the agreement and allows the municipality to recover all amounts paid to the individual or entity under the agreement in civil action.

  
By: \_\_\_\_\_  
Its: President  
Douglas L. Kersey  
\_\_\_\_\_  
(name of contractor if the contractor is an individual)  
(name of partner if the contractor is a partnership)  
(name of officer if the contractor is a corporation)

The above statement must be subscribed and sworn to before a notary public.

Subscribed and sworn to before me this 13th day of January 2023, ~~2022~~.

  
\_\_\_\_\_  
Notary Public's Signature



**Reporting Requirements**

The following forms must be completed in their entirety, notarized and included as part of the proposal document. Failure to respond truthfully to any question on the list or failure to cooperate fully with further inquiry by the Village of Oak Park will result in disqualification of your proposal.



**SECTION VII**  
**ORGANIZATION OF PROPOSING FIRM**

**Please fill out the applicable section:**

**A. Corporation:**

The contractor is a corporation, legally named D Kersey Construction Co. and is organized and existing in good standing under the laws of the State of Illinois. The full names of its officers are:

President Douglas L. Kersey

Secretary Brian D . Kersey

Treasurer Brian D . Kersey

Registered Agent Name and Address: 4130 Timberlane Drive, Northbrook, IL 60062

The corporation has a corporate seal. (In the event that this proposal is executed by a person other than the President, attach hereto a certified copy of that section of Corporate By-Laws or other authorization by the Corporation that permits the person to execute the offer for the corporation.)

**B. Sole Proprietor:**

The contractor is a Sole Proprietor. If the contractor does business under an assumed name, the

assumed name is \_\_\_\_\_, which is registered with the Cook County Clerk. The contractor is otherwise in compliance with the Assumed Business Name Act, 805 ILCS 405/0.01, et. seq.

**C. Partnership:**

The contractor is a partnership which operates under the name \_\_\_\_\_

The following are the names, addresses and signatures of all partners:

Signature	Signature

(Attach additional sheets if necessary.) If so, check here \_\_\_\_\_.

If the partnership does business under an assumed name, the assumed name must be registered with the Cook County Clerk and the partnership is otherwise in compliance with the Assumed Business Name Act, 805 ILCS 405/0.01, et. seq.

**D. Affiliates:** The name and address of any affiliated entity of the business, including a description of the affiliation: \_\_\_\_\_

\_\_\_\_\_  
Signature of Owner



**SECTION VIII**  
**PROPOSAL BOND**

*bid bond  
separated*

WE \_\_\_\_\_  
as PRINCIPAL, and \_\_\_\_\_  
as SURETY, are held and firmly bound unto the Village of Oak Park, Illinois (hereafter  
referred to as "VOP") in the penal sum of Ten Percent (10%) of the total Proposal price, as  
specified in the invitation for Proposals. We bind ourselves, our heirs, executors,  
administrators, successors, and assigns, jointly to pay to the VOP this sum under the  
conditions of this instrument.

WHEREAS THE CONDITION OF THE FOREGOING OBLIGATION IS SUCH that, the said PRINCIPAL  
is submitting a written Proposal to the VOP acting through its awarding authority for the  
completion of the work designated as the above section.

THEREFORE if the Proposal is accepted and an agreement awarded to the PRINCIPAL by the  
VOP for the above-designated section and the PRINCIPAL shall within fifteen (15) days after  
award enter into a formal agreement, furnish surety guaranteeing the faithful performance of  
the work, and furnish evidence of the required insurance coverage, all as provided in  
specifications then this obligation shall become void; otherwise it shall remain in full force and  
effect.

IN THE EVENT the VOP determines the PRINCIPAL has failed to enter into a formal agreement  
in compliance with any requirements set forth in the preceding paragraph, then the VOP acting  
through its awarding authority shall immediately be entitled to recover the full penal sum set  
out above, together with all court costs, all attorney fees, and any other expense of recovery.

IN TESTIMONY WHEREOF, the said PRINCIPAL and the said SURETY have caused this  
instrument to be signed by their respective officers this \_\_\_\_\_ day of  
\_\_\_\_\_ A.D. 2022.

PRINCIPAL

\_\_\_\_\_  
(Company Name) (Company Name)

By: \_\_\_\_\_ By: \_\_\_\_\_  
(Signature & Title) (Signature & Title)

(If PRINCIPAL is a joint venture of two or more contractors, the company names, and  
authorized signatures of each contractor must be affixed)



Subscribed to and sworn before me on the

\_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public

**NAME OF SURETY**

By: \_\_\_\_\_  
Signature of Attorney-in-Fact

subscribed to and sworn before me on the

\_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public



**SECTION IX**  
**CONTRACT BOND**



**Contract Bond**

\_\_\_\_\_, as PRINCIPAL, and \_\_\_\_\_ as SURETY, are held and firmly bound unto the Village of Oak Park (hereafter referred to as "Village") in the penal sum of \_\_\_\_\_, well and truly to be paid to the Village, for the payment of which its heirs, executors, administrators, successors and assigns, are bound jointly to pay to the Village under the conditions of this instrument.

**WHEREAS, THE CONDITION OF THE FOREGOING OBLIGATION IS SUCH** that, the Principal has entered into a written contract with the Village, acting through its President and Board of Trustees, for the construction of work, which contract is hereby referred to and made a part hereof as if written herein at length, and whereby the Principal has promised and agreed to perform the work in accordance with the terms of the contract, and has promised to pay all sums of money due for any labor, materials, apparatus, fixtures or machinery furnished to such Principal for the purpose of performing such work, including paying not less than the prevailing rate of wages in Cook County, where the work is for the construction of any public work subject to the Prevailing Wage Act, and has further agreed to save and indemnify and keep harmless the Village against all liabilities, judgments, costs and expenses which may in any manner accrue against the Village in consequence of granting such contract or which may in any manner result from the carelessness or neglect of the Principal, his agents, employees or workmen in any respect whatever; and has further agreed that this bond will inure to the benefit of any person, firm, company, or corporation, to whom any money may be due from the Principal, subcontractor or otherwise, for any such labor, materials, apparatus, fixtures or machinery so furnished and that suit may be maintained on such bond by any such person, firm, company, or corporation, for the recovery of any such money.

**NOW THEREFORE**, if the Principal shall well and truly perform the work in accordance with the terms of the contract, and shall pay all sums of money due or to become due for any labor, materials, apparatus, fixtures or machinery furnished to it for the purpose of constructing such work, and shall commence and complete the work within the time prescribed in the contract, and shall pay and discharge all damages, direct and indirect, that may be suffered or sustained on account of such work during the time of performance thereof and until the work shall have been accepted, and shall save and indemnify and keep harmless the Village against all liabilities, judgments, costs and expenses which may in any manner accrue against the Village in consequence of granting such contract or which may in any manner result from the carelessness or neglect of the Principal, his agents, employees or workmen in any respect whatever; and shall in all respects fully and faithfully comply with all the provisions, conditions, and requirements of the contract, then this obligation will be void; otherwise it will remain in full force and effect.



**IN WITNESS WHEREOF**, the **PRINCIPAL** and the **SURETY** have caused this instrument to be signed by their respective officers this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

**NAME OF PRINCIPAL**

By: \_\_\_\_\_  
Signature

By: \_\_\_\_\_  
Printed Name

Its: \_\_\_\_\_  
Title

Subscribed to and Sworn before me on the  
\_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public

**NAME OF SURETY**

By: \_\_\_\_\_  
Signature of Attorney-in-Fact

Subscribed to and Sworn before me on the  
\_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public



**SECTION X**  
**COMPLIANCE AFFIDAVIT**

I, Douglas L. Kersey, (print name) being first duly sworn on oath depose and state:

1. I am the (title) President of the proposing company and am authorized to make the statements contained in this affidavit on behalf of the company;
2. I have examined and carefully prepared this Proposal based on the request and have verified the facts contained in the Proposal in detail before submitting it;
3. The proposing company is organized as indicated above on the form entitled "Organization of Proposing Company."
4. I authorize the Village of Oak Park to verify the company's business references and credit at its option;
5. Neither the proposing company nor its affiliates<sup>1</sup> are barred from proposing on this project as a result of a violation of 720 ILCS 5/33E-3 or 33E-4 relating to Proposal rigging and Proposal rotating, or section 2-6-12 of the Oak Park Village Code relating to "Proposing Requirements".
6. The proposing company has the M/W/DBE status indicated below on the form entitled "EEO Report."
7. Neither the proposing company nor its affiliates is barred from agreementing with the Village of Oak Park because of any delinquency in the payment of any debt or tax owed to the Village except for those taxes which the proposing company is contesting, in accordance with the procedures established by the appropriate revenue act, liability for the tax or the amount of the tax. I understand that making a false statement regarding delinquency in taxes is a Class A Misdemeanor and, in addition, voids the agreement and allows the Village of Oak Park to recover all amounts paid to the proposing company under the agreement in civil action.
8. I am familiar with Section 13-3-2 through 13-3-4 of the Oak Park Village Code relating to Fair Employment Practices and understand the contents thereof; and state that the proposing company is an "Equal Opportunity Employer" as defined by Section 2000(E) of Chapter 21, Title 42 of the United States Code Annotated and Federal Executive Orders #11246 and #11375 which are incorporated herein by reference. **Also complete the attached EEO Report or Submit an EEO-1.**
9. I certify that the contractor is in compliance with the Drug Free Workplace Act, 41 U.S.C.A, 702

Signature: \_\_\_\_\_

Name and address of Business: D Kersey Construction Co., 4130 Timberlane Drive, Northbrook, IL 60062

Telephone 847-919-4980

E-Mail info@dkersey.com

Subscribed to and sworn before me this 13th day of January 2023, ~~2022~~.

Notary Public

- Notary Public Seal -

OFFICIAL SEAL  
BRIAN D KERSEY  
NOTARY PUBLIC - STATE OF ILLINOIS  
MY COMMISSION EXPIRES: 09/07/24

<sup>1</sup> Affiliates means: (i) any subsidiary or parent of the agreementing business entity, (ii) any member of the same unitary business group; (iii) any person with any ownership interest or distributive share of the agreementing business entity in excess of 7.5%; (iv) any entity owned or controlled by an executive employee, his or her spouse or minor children of the agreementing business entity.



**SECTION XI**  
**M/W/DBE STATUS AND EEO REPORT**

Failure to respond truthfully to any questions on this form, failure to complete the form or failure to cooperate fully with further inquiry by the Village of Oak Park will result in disqualification of this Proposal.

1. Contractor Name: D Kersey Construction Co.
2. Check here if your firm is:
- ☐ Minority Business Enterprise (MBE) (A firm that is at least 51% owned, managed and controlled by a Minority.)
  - ☐ Women's Business Enterprise (WBE) (A firm that is at least 51% owned, managed and controlled by a Woman.)
  - ☐ Owned by a person with a disability (DBE) (A firm that is at least 51% owned by a person with a disability)
  - ☒ None of the above

[Submit copies of any W/W/DBE certifications]

3. What is the size of the firm's current stable work force?
- 4 Number of full-time employees
- 0 Number of part-time employees
4. Similar information will be requested of all sub-contractors working on this agreement. Forms will be furnished to the lowest responsible contractor with the notice of agreement award, and these forms must be completed and submitted to the Village before the execution of the agreement by the Village.

Signature: \_\_\_\_\_

Date: January 13, 2023



## EEO Report

Please fill out this form completely. Failure to respond truthfully to any questions on this form, or failure to cooperate fully with further inquiry by the Village of Oak Park will result in disqualification of this Proposal. An incomplete form will disqualify your Proposal.

**An EEO-1 Report may be submitted in lieu of this report**

Contractor Name D Kersey Construction Co.  
Total Employees 4

Job Category	Total # of Empl.	Total Males	Total Females	Black	Males				Females				Total Minorities
					Hispanic	American Indian	Alaskan Native	Asian & Pacific Islander	Hispanic	American Indian	Alaskan Native	Asian & Pacific Islander	
Officials & Managers	2	2	0	0	0	0	0	0	0	0	0	0	0
Professionals	2	2	0	0	0	0	0	0	0	0	0	0	0
Technicians	0	0	0	0	0	0	0	0	0	0	0	0	0
Sales Workers	0	0	0	0	0	0	0	0	0	0	0	0	0
Office & Clerical	0	0	0	0	0	0	0	0	0	0	0	0	0
Semi-Skilled	0	0	0	0	0	0	0	0	0	0	0	0	0
Laborers	0	0	0	0	0	0	0	0	0	0	0	0	0
Service Workers	0	0	0	0	0	0	0	0	0	0	0	0	0
Management Trainees	0	0	0	0	0	0	0	0	0	0	0	0	0
Apprentices	0	0	0	0	0	0	0	0	0	0	0	0	0

This completed and notarized report must accompany your Proposal. It should be attached to your Affidavit of Compliance. Failure to include it with your Proposal will be disqualify you from consideration.

Douglas L. Kersey, being first duly sworn, deposes and says that he/she is the President

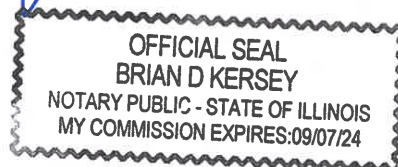
(Name of Person Making Affidavit)  
(Title or Officer)

of D Kersey Construction Co. and that the above EEO Report information is true and accurate and is submitted with the intent that it

be relied upon. Subscribed and sworn to before me this 13th day of January, 2023, 2022.

Brian D. Kersey  
( Signature )

January 13, 2023  
( Date )







4130 Timberlane Drive  
Northbrook, IL 60062  
847-919-4980 Office  
847-656-5002 Fax  
info@dkersey.com

## WORK EXPERIENCE AND REFERENCES

### Work Under Contract/In Progress – as of December 28, 2022

#### Berwyn Recreation Department – Toilet Room Remodeling

Remodeling of 4 toilet rooms at city recreation center. Includes replacement of plumbing fixtures, masonry patching, new toilet partitions. Toilet accessories, resinous flooring, and painting.

Address: 6501 W. 31<sup>st</sup> St., Berwyn, IL 60402

Owner: City of Berwyn

Owner's Rep: Thomas Brandstedt, Novotny Engineering, 630-887-8640, [tbrandstedt@novotnyengineering.com](mailto:tbrandstedt@novotnyengineering.com)

Architect: Lukasik & Associates, LTD., Rick Lukasik – 708-785-4107 – [r.lukasik@lukasikassociates.com](mailto:r.lukasik@lukasikassociates.com)

Contract Amount: \$ 163,822.00

Scheduled Start: December 8, 2022

Scheduled Completion: February 10, 2022

Percent Complete: 15%

#### Laramie Pump Station Improvements

Painting, Flooring and Boiler Replacement

Address: 957 Laramie Ave., Glenview, IL 60025

Owner: Village of Glenview, Jake Kohler, [jkohler@glenview.us](mailto:jkohler@glenview.us)

Architect: Kluber, Inc. – Chris Hansen, 630-406-1213, [chanson@kluberinc.com](mailto:chanson@kluberinc.com)

Contract Amount: \$ 89,567.00

Schedule: September 12 – December 7, 2022

Percent Complete: 100% - In Closeout

#### General Work at Multiple Sites – West Chicago S.D. 33

Structural steel, Masonry, Casework, Painting and Acoustical Ceiling work associated with Mechanical Upgrades at eight schools in the District.

Address: Multiple locations in West Chicago, IL

Owner: West Chicago S.D. 33, 312 E. Forest Avenue, West Chicago, IL 60185

Owner Representative: Fred Cadena, 630-669-9591 – [cadenaf@wego33.org](mailto:cadenaf@wego33.org)

Architect: Arcon Associates, Inc. Craig Podalak – 708-638-3337 – [cepodalak@arconassoc.com](mailto:cepodalak@arconassoc.com)

Original Contract Amount: \$699,900.00

Schedule: June 13, 2022 – August 15, 2022

Percent Complete: 100% Awaiting Closeout / Work delayed until 2023 due to equipment delays

#### Science Lab Remodeling at Harold L. Richards H.S.

Remodel of three science classrooms including, ACT, Flooring, Doors, Casework, Painting and MEP systems.

Address: 10601 S. Central Avenue, Oak Lawn, IL 60453

Owner: Community High School District 218, 10701 S. Kilpatrick Ave., Oak Lawn, IL 60453

Owner's Representative: Roger Ford, 708-424-2000 X2551 – [Rodge.Ford@CHSD218.org](mailto:Rodge.Ford@CHSD218.org)

Architect: DLA Architects, Ltd. – Rich Kocek, 847-742-4063 – [r.kocek@dla-ltd.com](mailto:r.kocek@dla-ltd.com)

Original Contract Amount: 1,081,793.00

Schedule: May 30, 2022 – August 12, 2022

Percent Complete: 100% - Preparing Final Closeout



2021 Capital Improvements – Lincoln ES – Additional Scope – BP3 Concrete

Furnish & Install self leveling concrete topping in Gymnasium

Address: 3545 S. 61<sup>st</sup> Avenue, Cicero, IL 60804

Owner: Cicero School District 99

Owners Rep./ Construction Manager: Vision Construction & Consulting, Inc.

Contact: Matther Brokenshire – [matt@visionconstruction.us](mailto:matt@visionconstruction.us) - 517-749-5432

Architect: FGM Architects, 1211 W. 22<sup>nd</sup> Street, Suite 700, Oak Brook, IL 60523

Original Contract Amount: \$129,450.00

Final Contract Amount: \$120,450.00

Schedule: 12/1/21 through 12/17/21

Substantial and Final Completion: 12/17/21

D Kersey Percentage of Contract: 24%

Wohlers Hall Portico Rehabilitation

Masonry Restoration, Roofing, concrete repair, steel handrails and painting of a portico structure

Address: 733 N. Prospect Ave, Park Ridge, IL 60068

Owner: Park Ridge Park District

Owner's Rep: Jennifer Meunier, 847.292.1258, [jmeunier@prparks.org](mailto:jmeunier@prparks.org)

Architect: FGM Architects, Inc. – Maggie Krieger 630-368-8318 [MaggieK@fgmarchitects.com](mailto:MaggieK@fgmarchitects.com)

Original Contract Amount: \$81,144.00

Final Contract Amount: \$109,497.00 (Contract increased due to added scope)

Schedule: August 30, 2021-October 22, 2021

Actual Completion: 10/22/21

D Kersey Percentage of Contract: 17%

2021 Summer Work - Lake Forest High School East and West Campuses

Installation of TMVs and RPZ throughout buildings, replacement of concrete stairs and rails, installation of new exhaust fans and associated ductwork and installation of new fire alarm devices

Addresses: 300 S. Waukegan Road and 1285 McKinley Road, Lake Forest, IL 60045

Owner: Lake Forest High School District 115

Owner's Rep: Dan Morton – Director of Building and Grounds – 847-604-7441 – [dmortensen@lfschools.net](mailto:dmortensen@lfschools.net)

Architect: Perkins & Will – Rick Young – 312-755-4757 – [rick.young@perkinswill.com](mailto:rick.young@perkinswill.com)

Contract Amount: \$525,315.00

Final Contract Amount: \$529,917.00

Original Schedule, June 7, 2021 – August 2, 2021 – Portion of Work Delayed due to material procurement.

Remainder of contract completed over Christmas Break.

Substantial Completion: 1/3/21

Final Completion: 4/1/21

D Kersey Percentage of Contract: 22%

Elevator Repairs at Haven Middle School and Dr. MLK Jr. Literary & Fine Arts School

Elevator repair and upgrades

Addresses: 2417 Prairie Avenue and 2424 Lake Street, Evanston, IL 60201

Owner: Evanston/Skokie School District 65 – 1500 McDaniel Ave., Evanston, IL 60201

Owners Rep: Ron Don Stevenson, 847-875-4126, [stevensond@district65.net](mailto:stevensond@district65.net)

Architect: Arcon Associates, Anthony Tremonte, 630-495-1900 X709, [ARTremonte@arconassoc.com](mailto:ARTremonte@arconassoc.com)

Original Contract Amount: \$169,900.00

Final Contract Amount: \$199,196.00

Actual Start: 2/10/2021

Scheduled Completion: 5/15/21

Actual Completion: 7/23/21 – (Delays in material)

D Kersey Percentage of Contract - \$24%



#### Renovation and Improvements 2020

Miscellaneous renovations at five schools

Owner: Barrington Community Unit School District 220, Nicole Satera, Director of Facilities 847-842-3282  
[nsatera@barrington220.org](mailto:nsatera@barrington220.org)

Architect: Cashman Stahler – Greg Stahler – 630-889-8800 X2500, [gstahler@cashmanstahler.com](mailto:gstahler@cashmanstahler.com)

Original Contract Amount: \$541,400.00

Final Contract Amount: \$ 540,812.00

Schedule: June 8, 2020-August 10, 2020

Actual Start: June 1, 2020

Actual Completion: August 14, 2020

D Kersey Percentage of Contract: 17%

#### Oak Lawn High School – Entrance Renovation

Replacement of entrance doors/Concrete at student drop off area

9400 Southwest Highway, Oak Lawn, IL

Owner: Oak Lawn Community High School District 229, Joseph McCurdy, 708-741-5603 [jmccurdy@olchs.org](mailto:jmccurdy@olchs.org)

Architect: STR Partners LLC – Paul Brock – 312-242-4165 - [pbrock@strpartners.com](mailto:pbrock@strpartners.com)

Original Contract Amount: \$ 223,500.00

Final Contract Amount: \$ 219,341.00

Schedule: July 6 thru August 31, 2020

Actual Start: July 6, 2020

Actual Completion: September 17, 2020 (Manufacturer made 4 doors wrong causing completion delay)

D Kersey Percentage of Contract: 13%

#### First Presbyterian Church Sump Pump Project

Installation of two new heavy-duty sump pumps and pits to manage storewater infiltration

219 W. Maple Avenue, Libertyville, IL 60048

Owner's Representative: Dave Clavey, Facilities Manager, 224-207-7587, [dclavey@boxp.net](mailto:dclavey@boxp.net)

Engineer: 20/10 Engineering Group, LLC – Ken Kowols, 847-882-2010, [ken@2010engineering.com](mailto:ken@2010engineering.com)

Contract Amount \$ 93,170.00

Final Contract Amount: \$ 99,348.00 (Added costs associated with unforeseen conditions)

Schedule: August 19- October 15, 2020.

Actual Start: August 19, 2020

Actual Completion: October 15, 2020

D Kersey Percentage of Contract: 38%

## **2019**

#### Evanston Skokie School District 65

2018 Maintenance and Repair Work throughout 17 schools in district

Admin. Address: 1500 McDaniel Ave., Evanston, IL 60201

Owner: Evanston/Skokie S.D. 65 Don Stevenson, 847-875-4126, [stevensond@district65.net](mailto:stevensond@district65.net)

Architect: N/A – Design and Build

2019 Work Amount: \$503,405.00

Start Date: 1/1/2019

Final Completion Date: 12/31/2019

D Kersey Percentage of Contract: 40%

#### 2019 Sprinkler Head Replacement at Emerson Middle School

Replacement of all sprinkler heads in the bulding

1001 S. Fairview Ave., Park Ridge, IL 60068

Owner: Park Ridge – Niles School District 64 – 164 S. Prospect Ave., Park Ridge, IL 60068

Owners Rep: Ron DeGeorge, [rdegeorge@d64.org](mailto:rdegeorge@d64.org)

Architect: StudioGC, Inc. – Rick Petricek, 847-276-1775, [r.petricek@studiogc.com](mailto:r.petricek@studiogc.com)

Contract Amount: \$94,667.00

Scheduled Start: 7/22/2019

Scheduled Substantial Completion: 8/15/2019

Actual Substantial Completion: 8/12/2019

D Kersey Percentage of Contract: 26%



2018 Alterations and Life Safety - Maywood – Melrose Park – Broadview S.D. 89

Stair Tower Addition, Window Replacement, Masonry Restoration, new concrete ramp, and various life safety upgrades at four schools.

Administration Address: 906 Walton Street, Melrose Park, IL 60160

Owners Rep: Clarence Thomas – Dir. B&G – 708-660-0202 /John Lullo – Asst. Dir. of B & G – 708-906-7380

Architect: StudioGC, Inc. – Liberty Turner, 312-253-3431, [l.turner@studiogc.com](mailto:l.turner@studiogc.com)

Contract Amount: \$1,065,453.00

Final Contract Amount: \$1,068,397.00 (Increased due to owner requested changes)

Scheduled Start: 4/1/2018

Scheduled Substantial Completion: 8/15/2018

Actual Substantial Completion: 8/24/2018

D Kersey Percentage of Contract: 16%

2018 Classroom Renovations at Fairview South School

Remodel three classrooms including MEP systems

7040 Laramie Ave., Skokie, IL 60077

Owner: Fairview School District 72, Jeff Feyerer, Business Manager 847-929-1048

Architect: GreenAssociates, Aaron Woessner - 847-317-0852 [awoessner@greenassociates.com](mailto:awoessner@greenassociates.com)

Contract Amount: \$560,500.00

Final Contract Amount: \$ 560,233.00

Scheduled Start: June 7, 2018

Scheduled and Actual Substantial Completion: August 6, 2018

Final Completion: September 20, 2018

D Kersey Percentage of Contract 17%

Special Education Toilet Upgrade at Irving Middle School

Upgrade small toilet rooms to larger special needs toilet room

Owner: Maywood-Melrose Park-Broadview S.D. 89 906 Walton Street, Melrose Park, IL 60160

Owners Rep: John Lullo – Asst. Dir. of Buildings & Grounds – 708-906-7380

Architect: StudioGC, Inc. – Liberty Turner, 312-253-3431, [l.turner@studiogc.com](mailto:l.turner@studiogc.com)

Original Contract Amount: \$ 77,055.00

Final Contract Amount: \$ 74,970.00

Start: 6/7/2018

Scheduled Substantial Completion: 8/15/2018 / Actual Substantial Completion: 8/24/2018

Final Completion: 10/22/2018

D Kersey Percentage of Contract: 27%

CNA CLASSROOM RENOVATION

Interior Renovation of Classroom at Barrington High School, 616 West Main Street, Barrington, IL 60010

Managed larger trades contracted directly by the District. Total project scope roughly \$400,000.

Owner: Barrington Community Unit School District 220

Architect: Cashman Stahler – Greg Stahler – 630-889-8800 X2500, [gstahler@cashmanstahler.com](mailto:gstahler@cashmanstahler.com)

Contract Amount: \$91,599.00

Substantial Completion Date: August 23, 2018 (Actual and Contract)

Final Completion Date: September 28, 2018

D Kersey Percentage of Contract: 60%

2018 Plumbing Replacement at Roosevelt Elementary School

Replacement of Galvanized Domestic Water piping throughout school

1001 S. Fairview Ave., Park Ridge, IL 60068

Owner: Park Ridge – Niles School District 64 – 164 S. Prospect Ave., Park Ridge, IL 60068

Owners Rep: Ron DeGeorge, [rdegeorge@d64.org](mailto:rdegeorge@d64.org)

Architect: StudioGC, Inc. – Rick Petricek, 847-276-1775, [r.petricek@studiogc.com](mailto:r.petricek@studiogc.com)

Contract Amount: \$261,623.00

Final Contract Amount: \$241,281.00

Scheduled Start: 6/2/2018

Scheduled Substantial Completion: 7/29/2018

Actual Substantial Completion: 8/20/2018

Final Completion: October 22, 2018

D Kersey Percentage of Contract: 27%



#### Fire Escape Removal at Wharton Elementary School

Masonry and Interior repairs following removal of two existing fire escapes

7555 W. 64<sup>th</sup> Street, Summit, Illinois 60501

Owner: Cook County School District 104, Don Dames 708-458-0505, [ddames@sd104.us](mailto:ddames@sd104.us)

Architect: N/A

Contract Amount: \$ 44,606.00

Scheduled Start: July 10, 2017

Scheduled and Actual Completion: August 4, 2017

D Kersey Percentage of Contract: 20%

#### Carol Stream Public Works Column Repair

Repair of steel columns at Public Works garage.

124 Gerzevske Lane, Carol Stream, IL 60188

Owner: Village of Carol Stream – Phil Modaff – Public Works Director - 630-871-6260, [pmodaff@carolstream.org](mailto:pmodaff@carolstream.org)

Engineer: K2N Crest – Jared D'Amico (630) 990-9595 [jareddamico@k2n.com](mailto:jareddamico@k2n.com)

Contract Amount: \$57,648.00

Final Contract Amount: \$ 57,407.00

Scheduled Start: October 12, 2016

Scheduled Completion: November 30, 2016

Substantial Completion: November 7, 2016

Final Completion: January 6, 2017

D Kersey Percentage of Contract: 20%

#### Village of Wilmette – Village Hall Door Replacement

Replacement of manual entrance doors with automatic doors.

1200 Wilmette Avenue, Wilmette, IL 60091

Owner Representative: John Ramaker – 847-853-7624, [ramakerj@wilmette.com](mailto:ramakerj@wilmette.com)

Architect: Design/Build

Contract Amount: \$ 72,960.00

Substantial Completion Date: 10/10/2016

D Kersey Percentage of Contract: 20%

## **2016**

#### 2016 Capital Improvements at Oak Park & River Forest High School

Renovation and improvement work throughout school including demolition, masonry, structural steel, drywall, plastering, acoustical ceilings, casework, roofing and floor finishes

201 North Scoville Ave. Oak Park, IL 60302

Subcontract to Mechanical Prime Contractor - C. Acitelli Heating & Piping Contractors Inc.

Charlie Acitelli – 630-832-4645, [cacitelli@acitelli.com](mailto:cacitelli@acitelli.com)

Owner: OPRF H.S. Dist. 200, Jeff Bergmann, Dir. of Buildings and Grounds, 630-529-5554, [jbergmann@oprfs.ocg](mailto:jbergmann@oprfs.ocg)

Architect: Legat Architects – Rob Wroble and Brian Campbell – 630-990-3535, [rwroble@leget.com](mailto:rwroble@leget.com)

Subcontract Amount - \$ 449,947.00

Scheduled Start: May 2016

Substantial Completion Date: July 29, 2016

D Kersey Percentage of Contract: 20%

#### S.D. 15 - 2016 Summer Life Safety Work – Package 6C

Lincoln Elementary School – 1021 Ridewood Lane, Palatine, IL 60067

Walter R. Sundling Junior High School – 1100 N. Smith Street, Palatine, IL 60067

Owner: Community Consolidated School District 15 – 580 North First Bank Drive, Palatine, IL 60067

Construction Manager: Gilbane Building Co. – Ernest Spina [espina@gilbaneco.com](mailto:espina@gilbaneco.com) 847- 812-4004

Original Contract Amount: \$ 1,008,433.00

Anticipated Final Contract Amount: \$ 869,598.47

Scheduled Start: June 13, 2016

Substantial Completion Date: July 29, 2016

D Kersey Percentage of Contract: 20%

#### Sewer Replacement Work at Wharton Elementary School



## 2014

### Tech Lab Renovation 2014

Interior Renovation of Tech Classrooms at 2 schools

Barrington Middle School- Prairie Campus - 40 W Dundee Rd, Barrington, IL 60010

Barrington Middle School Station Campus - 215 S Eastern Ave, Barrington, IL 60010

Owner: Barrington Community Unit School District 220

Architect: Cashman Stahler – Greg Stahler – 630-889-8800 X2500, [gstahler@cashmanstahler.com](mailto:gstahler@cashmanstahler.com)

Original Contract Amount: \$400,260.00

Final Contract Amount: \$397,610.00

Substantial Completion Date: August 8, 2014 (Actual and Contract)

Final Completion Date: August 29, 2014 (Actual and Contract)

D Kersey Percentage of Contract: 20%

## 2013

### Remodeling of Medical Center

Sitework and exterior improvements, including new children's playground, fence, lawn areas, concrete work, curbs, ramps, walkways, steps, railings, extension of roof structure and flagpole.

Address: Stickney Medical Center North Facility, 6721 W. 40<sup>th</sup> St., Stickney, IL 60402

Owner: Town of Stickney, Don Hantson, Dir. of Buildings and Grounds, 708-932-8897

Architect: Frega Architects - Rudy Cuasay – 312-663-0640

Original Contract Amount: \$355,000.00

Final Contract Amount: \$378,493.52

Substantial Completion Date: August 1, 2013 (Actual and Contract)

Final Completion Date: August 15, 2013 (Actual and Contract)

D Kersey Percentage of Contract: 20%

### Installation of Curtain Walls – Sleepy Hollow, Neubert and Hampshire Elementary Schools

Furnish and install new curtain wall entrances.

Admin Address: 300 Cleveland Ave, Carpentersville, IL 60110

Owner: Comm. Unit School District 300, Bruce Batt, Dir. of Buildings and Grounds 847-551-8369,

[Bruce.Batt@d300.org](mailto:Bruce.Batt@d300.org)

Architect: N/A – Design Build

Original Contract Amount: \$70,020.00

Final Contract Amount: \$70,020.00

Substantial Completion Date: August 1, 2013 (Actual and Contract)

Final Completion Date: August 15, 2013 (Actual and Contract)

D Kersey Percentage of Contract: 20%



# Document A310™ – 2010

Conforms with The American Institute of Architects AIA Document 310

## Bid Bond

### CONTRACTOR:

(Name, legal status and address)

D Kersey Construction Co.  
4130 Timberlane Drive  
Northbrook, IL 60062

### SURETY:

(Name, legal status and principal place of business)

Harco National Insurance Company  
4200 Six Forks Road, Suite 1400  
Raleigh, NC 27609

**Mailing Address for Notices**  
same as above

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

### OWNER:

(Name, legal status and address)

Village of Oak Park  
201 South Boulevard  
Oak Park, IL 60302

**BOND AMOUNT:** \$ 10% Ten Percent of Amount Bid

### PROJECT:

(Name, location or address, and Project number, if any)


Public Works Center Wash Bay Drainage Improvements

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be considered as a statutory bond and not as a common law bond.

Signed and sealed this 13th day of January, 2023

  
(Witness) Brian D. Kersey

  
(Witness) Karen E Socha

D Kersey Construction Co.  
(Principal)

By:  (Seal)  
(Title) Douglas L. Kersey President

Harco National Insurance Company  
(Surety)

By:  (Seal)  
(Title) Jodie Sellers Attorney-in-Fact





State of Illinois

County of Cook

**SURETY ACKNOWLEDGEMENT (ATTORNEY-IN-FACT)**

I, Donna Irigoyen **Notary Public of** Cook **County, in the State of** Illinois ,

**do hereby certify that** Jodie Sellers **Attorney-in-Fact, of the** Harco National Insurance

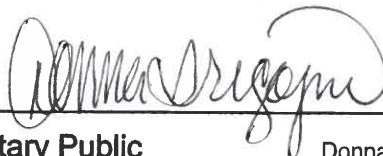
Company **who is personally known to me to be the same person whose**

**name is subscribed to the foregoing instrument, appeared before me this day in person, and**

**acknowledged that she signed, sealed and delivered said instrument, for and on behalf of the**

Harco National Insurance Company **for the uses and purposes therein set forth.**

**Given under my hand and notarial seal at my office in the City of** Rolling Meadows **in**  
**said County, this** 13th **day of** January , 2023 .



**Notary Public**

Donna Irigoyen

**My Commission expires:** July 13, 2025





**POWER OF ATTORNEY  
HARCO NATIONAL INSURANCE COMPANY  
INTERNATIONAL FIDELITY INSURANCE COMPANY**

Member companies of IAT Insurance Group, Headquartered: 4200 Six Forks Rd, Suite 1400, Raleigh, NC 27609

Bond # Bid Bond

Principal D Kersey Construction Co.

Obligee Village of Oak Park

**KNOW ALL MEN BY THESE PRESENTS:** That **HARCO NATIONAL INSURANCE COMPANY**, a corporation organized and existing under the laws of the State of Illinois, and **INTERNATIONAL FIDELITY INSURANCE COMPANY**, a corporation organized and existing under the laws of the State of New Jersey, and having their principal offices located respectively in the cities of Rolling Meadows, Illinois and Newark, New Jersey, do hereby constitute and appoint

Jodie Sellers

their true and lawful attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise, and the execution of such instrument(s) in pursuance of these presents, shall be as binding upon the said **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY**, as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by their regularly elected officers at their principal offices.

This Power of Attorney is executed, and may be revoked, pursuant to and by authority of the By-Laws of **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY** and is granted under and by authority of the following resolution adopted by the Board of Directors of **INTERNATIONAL FIDELITY INSURANCE COMPANY** at a meeting duly held on the 13th day of December, 2018 and by the Board of Directors of **HARCO NATIONAL INSURANCE COMPANY** at a meeting held on the 13th day of December, 2018.

**"RESOLVED**, that (1) the Chief Executive Officer, President, Executive Vice President, Senior Vice President, Vice President, or Secretary of the Corporation shall have the power to appoint, and to revoke the appointments of, Attorneys-in-Fact or agents with power and authority as defined or limited in their respective powers of attorney, and to execute on behalf of the Corporation and affix the Corporation's seal thereto, bonds, undertakings, recognizances, contracts of indemnity and other written obligations in the nature thereof or related thereto; and (2) any such Officers of the Corporation may appoint and revoke the appointments of joint-control custodians, agents for acceptance of process, and Attorneys-in-fact with authority to execute waivers and consents on behalf of the Corporation; and (3) the signature of any such Officer of the Corporation and the Corporation's seal may be affixed by facsimile to any power of attorney or certification given for the execution of any bond, undertaking, recognizance, contract of indemnity or other written obligation in the nature thereof or related thereto, such signature and seals when so used whether heretofore or hereafter, being hereby adopted by the Corporation as the original signature of such officer and the original seal of the Corporation, to be valid and binding upon the Corporation with the same force and effect as though manually affixed."

IN WITNESS WHEREOF, **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY** have each executed and attested these presents  
on this 31st day of December, 2021.



STATE OF NEW JERSEY  
County of Essex

Kenneth Chapman

Executive Vice President, Harco National Insurance Company  
and International Fidelity Insurance Company

STATE OF ILLINOIS  
County of Cook



On this 31st day of December, 2021, before me came the individual who executed the preceding instrument, to me personally known, and, being by me duly sworn, said he is the therein described and authorized officer of **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY**; that the seals affixed to said instrument are the Corporate Seals of said Companies; that the said Corporate Seals and his signature were duly affixed by order of the Boards of Directors of said Companies.



IN TESTIMONY WHEREOF, I have hereunto set my hand affixed my Official Seal, at the City of Newark, New Jersey the day and year first above written.

Shirelle A. Outley a Notary Public of New Jersey  
My Commission Expires April 4, 2023

**CERTIFICATION**

I, the undersigned officer of **HARCO NATIONAL INSURANCE COMPANY** and **INTERNATIONAL FIDELITY INSURANCE COMPANY** do hereby certify that I have compared the foregoing copy of the Power of Attorney and affidavit, and the copy of the Sections of the By-Laws of said Companies as set forth in said Power of Attorney, with the originals on file in the home office of said companies, and that the same are correct transcripts thereof, and of the whole of the said originals, and that the said Power of Attorney has not been revoked and is now in full force and effect.

IN TESTIMONY WHEREOF, I have hereunto set my hand this 13th day of January, 2023

Irene Martins, Assistant Secretary



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**REQUEST FOR PROPOSALS**  
**INSTRUCTIONS AND SPECIFICATIONS FOR:**

**Village of Oak Park Public Works Center Wash Bay Drainage Improvements**  
**Proposal Number: 22-134**  
**Issuance Date: 12/14/2022**

The Village of Oak Park will receive proposals from qualified contractors to install a new drainage system for the vehicle wash bay at the Public Works Center, located at 201 South Blvd., Oak Park, IL 60302. Proposals will be accepted at the Public Works Center, 201 South Blvd., Oak Park, IL 60302 Monday through Friday, 7:30 a.m. to 4:00 p.m. local time until 11:00 a.m. **on Friday, January 13<sup>th</sup>, 2023.** Proposals may also be sent via e-mail to [vics@oak-park.us](mailto:vics@oak-park.us). Proposals will be reviewed and the results of the review will be presented to the Village of Oak Park Board of Trustees.

There will be a pre-proposal meeting at the Public Works Center, located at 201 South Blvd., Oak Park, IL 60302 on Wednesday, December 21<sup>st</sup>, 2022 at 10:00 a.m. Prospective bidders are encouraged to attend the pre-bid meeting to inspect site conditions, receive design drawings and obtain other pertinent information about the scope of work.

Specifications and proposal forms may be obtained by sending a request to Building Maintenance Superintendent, Vic Sabaliauskas at [vics@oak-park.us](mailto:vics@oak-park.us) or by stopping by the Public Works Center at the address listed above or by calling 708-358-5710.

The Board of Trustees reserves the right to accept or reject any and all proposals or to waive technicalities, or to accept any item of any proposal.

Do not detach any portion of this document. Upon formal award to the successful contractor, a written agreement will be executed in substantially the form attached.

In responding to this Request for Proposals, the official logo of the Village of Oak Park is not to be used in any form. Use of the Village logo is strictly prohibited by law and such use could subject the proposer to disqualification.

**Submission of Proposals**

The proposal shall be submitted on the proposal form included herewith. If proposal is hand delivered or mailed to the Public Works Center, the proposal shall be submitted in a sealed envelope marked **"PROPOSAL: 22-134 Village of Oak Park Public Works Center Wash Bay Drainage Improvements"**, shall bear the return address of the bidder, and shall be addressed as follows:

TO: Vic Sabaliauskas, Building Maintenance Superintendent  
Department of Public Works  
201 South Blvd.  
Oak Park, IL 60302



## **SECTION I**

### **PROPOSAL INSTRUCTIONS, TERMS AND CONDITIONS**

#### **Preparation and Submission of Proposal**

All proposals must be delivered to the Public Works Center by the specific time indicated on the cover page. Proposals arriving after the specified time will not be accepted. Mailed proposals that are received by the Village after the specified hour will not be accepted regardless of the post-marked time on the envelope. Proposals must be signed by an officer of the company who is authorized to enter into agreements on behalf of the company. Proposals shall be sealed in an envelope and marked as stated on the cover page.

#### **Proposal Bond**

The contractor shall provide a proposal bond in the amount of ten percent (10%) of the total proposal price. The attached form may be used or the contractor may provide cash or a certified check in the amount specified. The proposal bonds, cash or checks will be returned once the selected contractor has entered into an agreement for this work and provided the Contract bond in an amount of one hundred percent (100%) of the total approved proposal price.

#### **Contract Bond**

The successful contractor shall, within ten (10) calendar days after award of the Proposal, furnish a contract bond in the amount of one hundred percent (100%) of the contract price. The bond shall ensure faithful performance of the work, and the payment for materials, labor and of the subcontractors. The bond shall be with a surety or sureties with a rating of "A" or better by A.M. Best and Company and such sureties shall be approved by the Village. Bonds in the form of certified or cashier's check shall be made payable to the Village of Oak Park, Illinois. The contract bond shall be furnished in the same number of copies as the number of copies of the agreement to be executed.

#### **Award of Agreement**

The agreement will be awarded in whole or in part to the responsible contractor whose proposal, conforming to the request for proposals, will be most advantageous to the Village; price and other factors considered.

#### **Costs of Preparation**

The Village will not be responsible for any expenses incurred in preparing and submitting a proposal or entering into the applicable agreement.

#### **Taxes not Applicable**

The Village of Oak Park as an Illinois municipality pays neither Illinois Sales Tax nor Federal Excise Tax (State Tax Exemption Identification Number E9998-1823-06). Contractors should exclude these taxes from their prices.

#### **Withdrawal of Proposals**

Any contractor may withdraw its proposal at any time prior to the time specified in the advertisement as the closing time for the receipt of proposals, by signing a request therefore. No contractor may withdraw or cancel its proposal for a period of sixty (60) calendar days after



the advertised closing time for the receipt of proposals. The successful contractor may not withdraw or cancel its proposal after having been notified that the proposal was accepted by the Village Board of Trustees.

#### **Investigation of Contractors**

The Village will make such investigations as are necessary to determine the ability of the contractor to fulfill proposal requirements. If requested, the contractor should be prepared to present evidence to the Village of Oak Park of ability and possession of necessary facilities and financial resources to comply with the terms of the attached specifications and proposals. In addition, the contractor shall furnish the Village with any information the Village may request, and shall be prepared to show completed work of a similar nature to that included in its proposal. The Village reserves the right to visit and inspect the premises and operation of any contractor.

#### **Rejection of Contractor**

The Village will reject any proposal from any person, firm or corporation that appears to be in default or arrears on any debt, agreement or the payment of any taxes. The Village will reject any proposal from a contractor that failed to satisfactorily complete work for the Village under any previous agreement.

#### **Conditions**

Contractors are advised to become familiar with all conditions, instructions and specifications governing the work. Contractors shall be presumed to have investigated the work site, conditions and scope of the work before submitting a proposal.

#### **Compliance with Applicable Laws**

The contractor will strictly comply with all ordinances of the Village of Oak Park and Village Code and laws of the State of Illinois.

#### **Governing Law**

All agreements entered into by the Village of Oak Park are governed by the laws of the State of Illinois without regard to conflicts of law. Any action brought to enforce an agreement with the Village of Oak Park must be brought in the state and federal courts located in Cook County, Illinois.

#### **Subletting of Agreement**

No agreement awarded by the Village of Oak Park shall be assigned or any part sub-agreement without the written consent of the Village of Oak Park or as noted in the contractor's proposal. In no case shall such consent relieve the contractor from its obligations or change the terms of the agreement.

#### **Interpretation of Agreement Documents**

Any contractor with a question about this proposal may request an interpretation thereof from the Village. If the Village changes the proposal, either by clarifying it or by changing the specifications, the Village will issue a written addendum, and will mail a copy of the addendum to all prospective contractors. The Village will not assume responsibility for receipt of such addendum. In all cases, it will be the contractor's responsibility to obtain all addenda issued.



Contractors will provide written acknowledgment of receipt of each addendum issued with the proposal submission.

#### **Minority Business and Women Business Enterprise Requirements**

The Village of Oak Park, in an effort to reaffirm its policy of non-discrimination, encourages the efforts of contractors and subcontractors to take affirmative action in providing for Equal Employment Opportunity without regard to race, religion, creed, color, sex, national origin, age, handicap unrelated to ability to perform the job or protected veteran's status.

#### **Licenses and Permits**

The contractor shall be responsible for becoming a licensed contractor in the Village. The contractor shall also be responsible for obtaining any and all required permits from the Village's Development Customer Services Department (Building Permits Division). The Village shall waive all permit fees.

#### **Agreement**

The selected contractor shall enter into an agreement with the Village to complete the work in a form substantially similar to the agreement attached hereto. The agreement shall be executed by the contractor and returned, together with the agreement bond within ten (10) calendar days after the agreement has been mailed to the contractor. The contractor shall execute three copies of the agreement. One fully executed copy will be returned to the contractor.

#### **Notice to Proceed**

Work shall begin within fourteen (14) days from the Notice to Proceed from the Village's Building Maintenance Superintendent. All work shall be completed in accordance with the detailed specifications set forth herein, unless the Building Maintenance Superintendent grants an extension.

#### **Fees and Cost**

In the event any action is brought to enforce any agreement entered into by the Village of Oak Park, or to collect any unpaid amount from the Village of Oak Park, each party bears the responsibility of paying its own attorneys' fees and costs.

#### **Dispute Resolution**

The Village of Oak Park does not agree to the mandatory arbitration of any dispute.



## **SECTION II**

### **DETAILED SPECIFICATIONS**

See attached detailed specs and design documents as submitted by the design firm of Transystems.

The selected contractor shall furnish all labor, supervision, supplies, tools, equipment, vehicles and other means necessary or proper for performing and completing the work. The selected contractor shall be responsible for the cleaning up of the job site and shall repair or restore all structures and property that may be damaged or disturbed during performance of the work to the satisfaction of the Village of Oak Park.

The agreement and work shall be carried out in conformance with the laws and regulations of the Village of Oak Park and these specifications. All work will be performed according to the standards set forth in the applicable building codes and standards, including mechanical, fire, plumbing, electric, accessibility, or any other applicable codes in force in the Village of Oak Park and State of Illinois.

#### **Alterations, Omissions and Extra Work**

The Village of Oak Park reserves the right to increase or decrease the quantity of any item or portion of the work, or to omit portions of the work as may be deemed necessary.

#### **Job Site Conditions**

To the fullest extent possible, the contractor will not allow its work to interfere with the critical operations of the Fire Department. Contractor will take all necessary actions as directed by the Village in that regard.

**Material Storage:** The contractor shall be responsible for the storage and safety of his own materials. The Village assumes no liability whatever for any material damaged or stolen on the premises. Any damage to, or loss by theft or vandalism of any material, appurtenance, or appliance, after such has been applied, connected or installed on Village property, shall be the sole responsibility of the contractor until the project is completed and accepted by the Village.

**Safety Precautions:** The contractor is solely responsible for implementing effective safety precautions on and around the work site to protect workers and other persons who might be affected and shall exercise every precaution at all times for the protection of the property. The contractor shall not leave any combustible materials or other fire hazards overnight or allowed them to accumulate. The contractor shall aproposale by all applicable laws, standards, and regulations that apply to the completion of the work, including EPA and OSHA safety standards and regulations.

**Damage to Property:** Contractor shall repair, at no additional cost to the Village, all damage to Village property caused by the contractor resulting from his work. Where repair of existing work is called for, such patching and replacement shall be made to blend with existing work so that the patch or replacement will be inconspicuous after finishing.



Daily Clean-up: The contractor shall keep the premises clean and orderly during the course of the work and all debris shall be removed on a continuous basis.

### **Method of Payment**

The Village of Oak Park will pay monthly all undisputed invoices billed at the rates set forth in the contractor's proposal within 30 days of approval as provided in the Local Government Prompt Payment Act, 50 ILCS505/4. The maximum interest rate for any payment not made within 30 days of approval is 1%.

### **Change Orders**

Change Orders: Changes in the Work may be agreed to after execution of the agreement, and without invalidating the agreement, if the change order is in writing and signed. Any changes to the scope of work which result in an increase in the agreement price will be subject to an agreement addendum which must be signed by both parties. Any such change order will be prepared by the Village. The contractor may only proceed with the change upon receipt of the written change order signed by the Village.

Emergency Changes: Contractor may perform work not included in the scope of work if necessary to remedy a condition that poses an immediate threat to persons or property. Work of this nature shall be carried out only to the extent of bringing the condition under control. The Village shall be notified immediately. A change order will then be negotiated and executed for the work performed, and for work remaining, if any.

Minor Changes (Field Orders): The Village may verbally authorize minor changes in the scope of work in order to prevent a delay in the progression of the work. These field orders may not involve a change in the agreement price or be inconsistent with the scope of work.

Changes Due to Unknown Conditions: The contractor is not responsible for changes in the work that are due to conditions that were not reasonably observable or conditions that have changed. In such cases, the contractor shall notify the Village and a change order will be negotiated.

Any change which results in a total agreement price in excess of \$10,000 must be approved by the Village of Oak Park Board of Trustees.

### **Correction of Work Prior To Final Payment**

The Village has the right to stop work if the contractor fails to carry out the work in a manner acceptable to the Village. If the Village deems the contractor's work unacceptable, at the Village's election, the contractor shall do one of the following:

1. Promptly repair or replace the defective work, without expense to the Village, including costs associated with repairing any damage to property caused by the replacement work; or;
2. If the Village deems it unacceptable to have the contractor correct work which has been incorrectly done, a deduction from the agreement price shall be made based on the costs to the Village to have the work repaired. Such a deduction from the agreement price shall in no way affect the Village's other remedies or relieve the



contractor from responsibility for defects and related damage occurring as a result of defective or unacceptable work.

### **Contractor's Representative**

The contractor shall have at all times a competent foreman or superintendent on the job that shall have full authority to act for the contractor, and to receive and execute orders from the Director of Public Works or appointed representative. Any instructions given to such superintendent or person executing work for the contractor shall be binding on the contractor as though given to him personally. Contractor's representative must be proficient in the use and interpretation of the English language.

### **Workers**

The contractors shall employ competent laborers and shall replace, at the request of the Building Maintenance Superintendent any incompetent, unfaithful, abusive or disorderly workers in their employ. Only workers expert in their respective branches of work shall be employed where special skill is required. Inappropriate behavior or examples of unproductive work effort will not be tolerated. The Village has the right to require a contractor's employee to be immediately removed from the work crew if the above behavior is exhibited.

### **Dispute Resolution**

All disputes, including collection disputes, shall be brought in the Circuit Court of Cook County, Illinois. This agreement shall be interpreted in accordance with the laws of the State of Illinois. In any dispute resolution process, each party shall bear its own costs, including attorney's fees. Any purported agreement between the parties that states terms contrary to this paragraph M will be deemed per se invalid.

### **Mandatory Qualifications for Contractor's Personnel**

Crews shall include at least one (1) supervisor during any given shift.

1. No more than 50% of the crew may be trainees at any one time.
2. Supervisors must be fluent in the English language and capable of reading and writing English.
3. Technicians employed by the contractor selected shall be fully trained and skilled in safe and proper techniques. Specific training required must follow the OSHA standards (see *below*).
4. The contractor selected shall provide sufficient documentation, if requested by the Village, to demonstrate adequate training has been provided upon commencement of the agreement. Contractor selected shall submit statement outlining training program and method of verifying employee competency. Failure to do so may be ample cause for rejection of proposal. The use of technicians who are not adequately trained may be sufficient grounds for termination of the agreement.
5. The Village reserves the right to require immediate removal of any employee of the contractor selected deemed unfit for service for any reason. This right is non-negotiable and the



contractor selected agrees to this condition by accepting this agreement. The contractor selected shall have enough qualified personnel to replace a terminated employee within 24 hours. Failure to do so can result in the termination of the agreement.

### **OSHA Requirements**

1. Material Safety Data Sheets – Contractor selected shall furnish the Village of Oak Park copies of Material Safety Data Sheets (MSDS), for all products used, prior to beginning service at Village facilities. In addition, each time a new chemical is introduced, a copy of that product's MSDS must be provided to the Building Maintenance Superintendent prior to the product being used. The Material Safety Data Sheets must be in compliance with OSHA Regulation 1910.1200, paragraph g.
2. Labeling of Hazardous Materials – Contractor selected shall comply with OSHA regulation 1919.1200, paragraph f, concerning labeling of all chemical containers.
3. Caution Signs – Contractor selected shall use “caution signs” as required by OSHA Regulation 1910.44 and 1910.145 at no cost to the Village. Caution signs shall be on-site upon commencement of agreement.

Proof of compliance with OSHA regulation 1920.1200, Hazard Communication, shall be provided to the Building Maintenance Superintendent upon commencement of this agreement, if requested.

Failure of the contractor selected or his/her employees to comply with all applicable laws, regulations and rules shall permit the Village to immediately terminate this agreement without liability.

### **Prevailing Wages**

Contractor and any applicable subcontractor shall pay prevailing wages as established by the Illinois Department of Labor and determined by the Village for each craft or type of work needed to execute the contract in accordance with the Illinois Prevailing Wage Act, 820 ILCS 130/0.01 et seq. (“Act”). Contractor shall prominently post the current schedule of prevailing wages at the Project site(s) and shall notify immediately in writing all of its subcontractors of all changes in the schedule of prevailing wages. Any increases in costs to Contractor due to changes in the prevailing rate of wage during the terms of any Contract shall be at the sole expense of Contractor and not at the expense of the Village, and shall not result in an increase to the Contract Price. Contractor shall be solely responsible to maintain accurate records as required by the Act and shall submit certified payroll records to the Village evidencing its compliance with the Act on no less than a monthly basis as required by the Act. Contractor shall be solely liable for paying the difference between prevailing wages and any wages actually received by laborers, workmen and/or mechanics engaged in the Work for the Project.

Contractor shall indemnify, hold harmless, and defend the Village, its officers, officials, employees, agents and volunteers (“Indemnified Parties”) against all regulatory actions, complaints, damages, claims, suits, liabilities, liens, judgments, costs and expenses, including reasonable attorney's fees, which may in any way arise from or accrue against the Indemnified



Parties as a consequence of noncompliance with the Act or which may in any way result therefrom, including a complaint by the Illinois Department of Labor under Section 4(a-3) of the Act, 820 ILCS 130/4(a-3) that any or all of the Indemnified Parties violated the Act by failing to give proper notice to the Grantee or any other party performing work on the Public Improvements that not less than the prevailing rate of wages shall be paid to all laborers, workers and mechanics performing Work on the Project, including interest, penalties or fines under Section 4(a-3). The indemnification obligations of this section on the part of Contractor shall survive the termination or expiration of this Agreement. In any such claim, complaint or action against the Indemnified Parties, Contractor shall, at its own expense, appear, defend and pay all charges of reasonable attorney's fees and all reasonable costs and other reasonable expenses arising therefrom or incurred in connection therewith, and, if any judgment or award shall be rendered against the Indemnified Parties in any such action, Contractor shall at its own expense, satisfy and discharge such judgment or award.



**SECTION III**  
**SCOPE OF WORK**

See attached detailed specs and design documents as submitted by the design firm of Transystems.



**OAK PARK  
PUBLIC WORKS FACILITY  
WASH BAY RENOVATION**

**CONTRACT NO: P404220016**

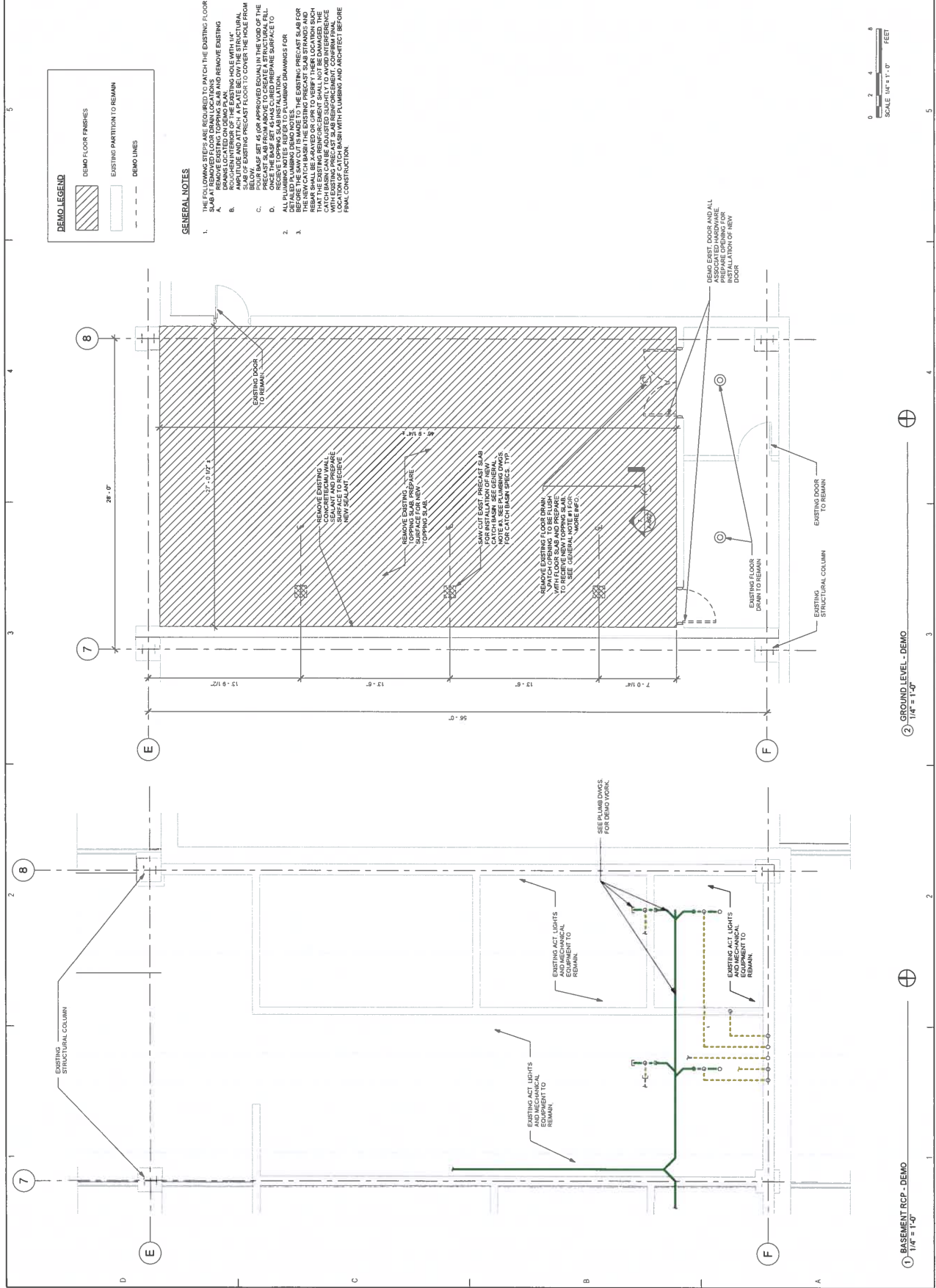


**TranSystems**  
222 S. RIVERSIDE PLAZA  
SUITE 618  
CHICAGO, IL 60606  
PHONE: 312.276.5845  
FAX: 312.276.4805

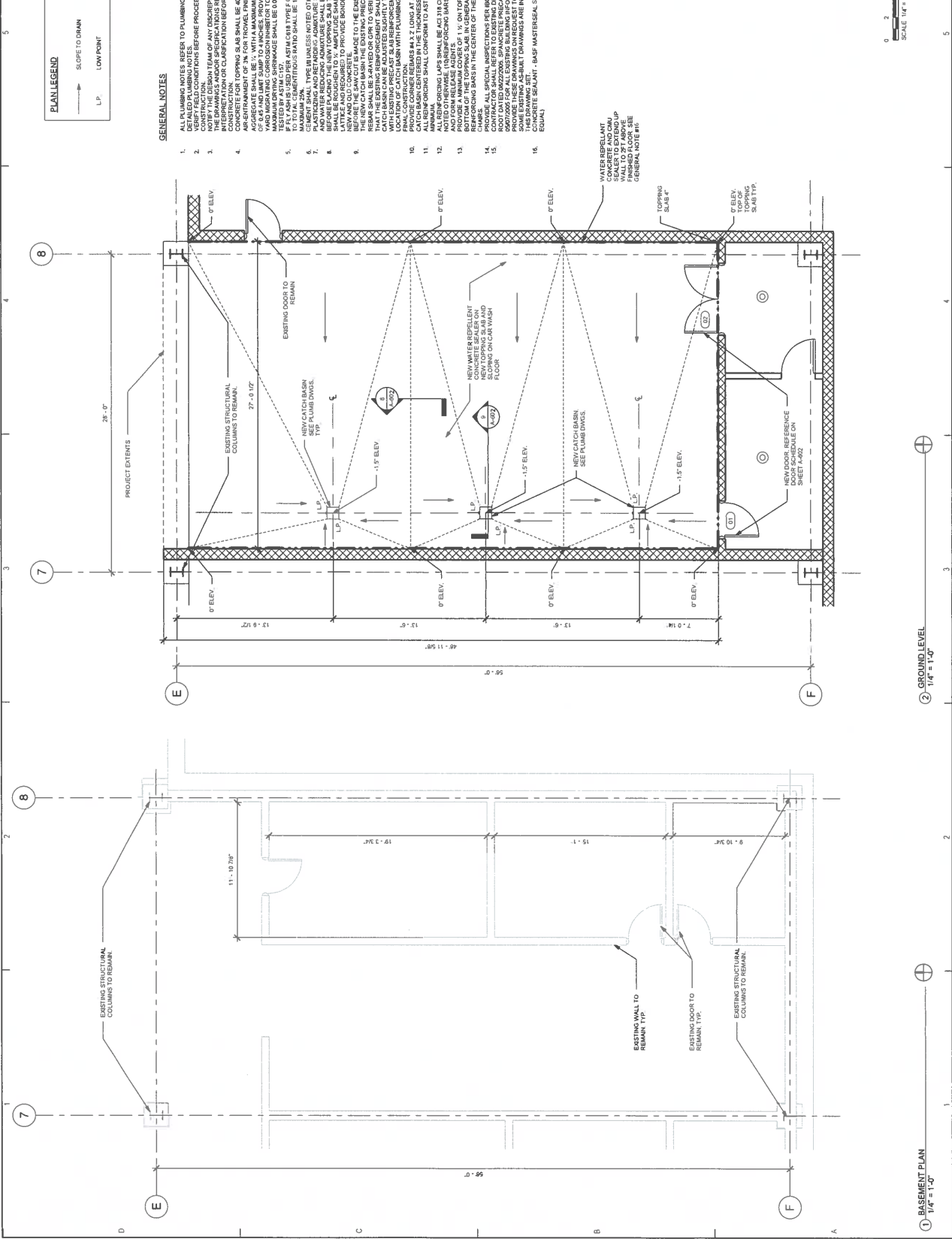












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PRINT DATE: 12/1/2022 5:02:20 AM



TRANS SYSTEMS

222 S. ROBERTS PLAZA  
CHICAGO, IL 60606  
PHONE: 312.439.5446  
FAX: 312.378.4855

CONSULTANT:

OAK PARK PUBLIC WORKS GARAGE  
201 SOUTH BLVD.  
OAK PARK, IL 60302

REVISIONS

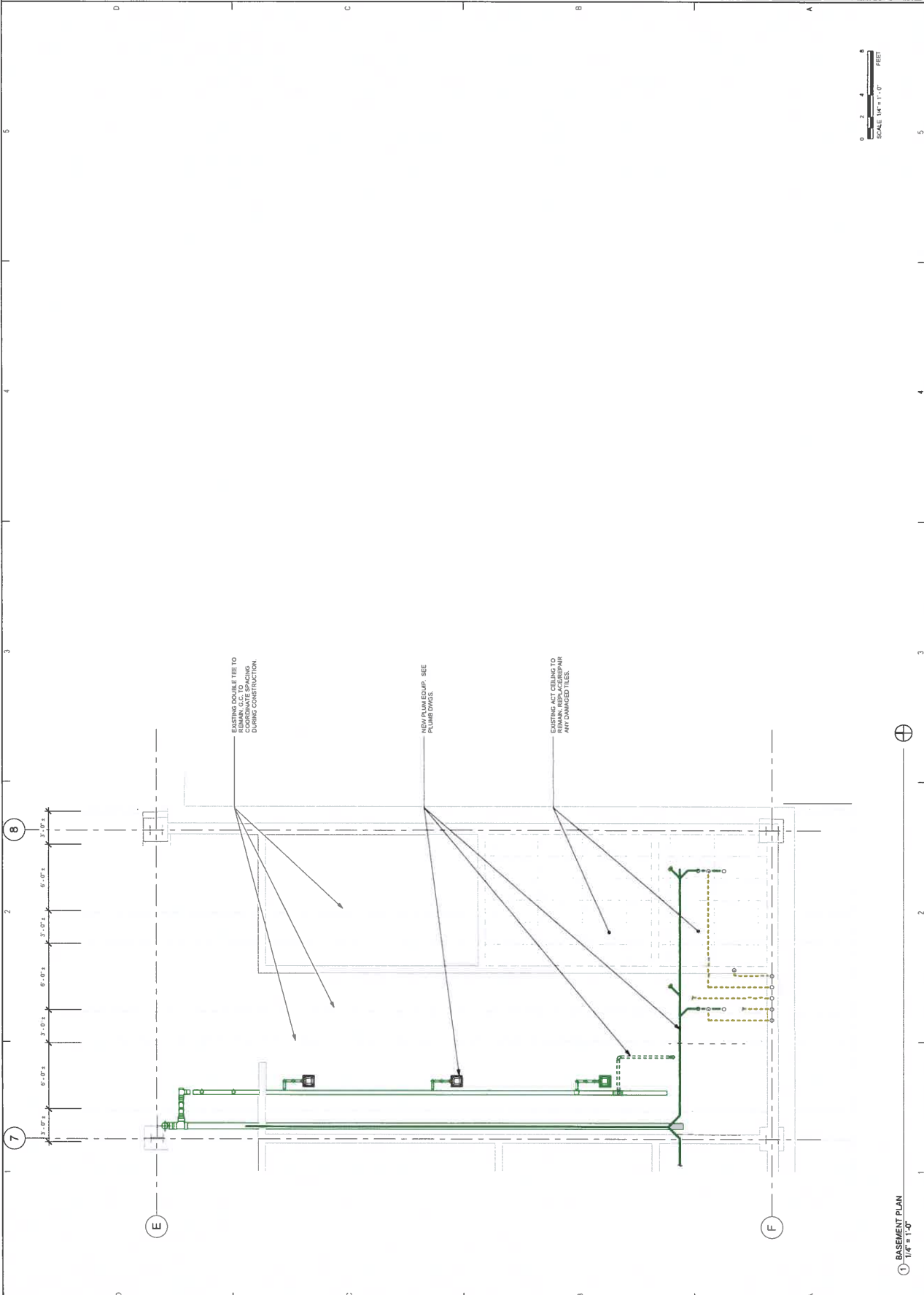
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1	12/07/2022	100% SUBMITTAL
2	12/07/2022	100% SUBMITTAL

PROJECT INFORMATION

PROJECT NAME: OAK PARK PUBLIC WORKS GARAGE  
DESIGNED BY: TRANS SYSTEMS  
CHECKED BY: CMM  
SHEET TITLE: REFLECTED CEILING PLAN

SHEET NO. A-102

SHEET 05









6. ALL COMPONENTS USED IN THE DOMESTIC WATER SYSTEM SHALL BE LEAD FREE TO MEET THE SAME DOMESTIC WATER ACT AS AMENDED PLUMBING SECTION 171.
7. ALL PIPING IN FINISHED ROOMS OR SPACES SHALL BE CONCEALED IN FURRED CHASES, BELOW FLOOR OR ABOVE APPLICABLE CEILING.
8. ALL PIPING IN AREAS WITHOUT CEILINGS SHALL BE INSTALLED AS HIGH AS POSSIBLE, IN A MANNER THAT NO OBSTRUCTIONS ARE REQUIRED.
9. FLOOR LINE, CLOUDBOUTS ON SEVERAL LEVELS AND DOWN DRAKE TO FINISHED FLOOR LINE, CLOUDBOUTS ON SEVERAL LEVELS AND DOWN DRAKE OVER SUMP P.
10. SET ALL FLOOR LINE, CLOUDBOUTS ON SEVERAL LEVELS AND DOWN DRAKE OVER SUMP P. TRAPS, IMMEDIATELY AT TRAP SEAL.
11. ALL VENTS THROUGH THE ROOF SHALL BE A MINIMUM OF 1/2" FROM ALL AIR INTAKES AND EXHAUSTS. ALL VENTS THROUGH THE ROOF SHALL BE A MINIMUM OF 1/2" FROM ALL AIR INTAKES AND EXHAUSTS. ALL VENTS THROUGH THE ROOF SHALL BE A MINIMUM OF 1/2" FROM ALL AIR INTAKES AND EXHAUSTS.
12. ALL HORIZONTAL SANITARY DRAINAGE PIPING IS FITTED AT 1/4" UP TO 3". IF THE PIPING IS FITTED AT 1/4" UP TO 3", IT MUST BE NOTED ON DRAWING.
13. PIPING INVERT ELEVATIONS SHOWN ON THE PLUMBING DRAWINGS ARE BASED ON THE FINISHED FIRST FLOOR ELEVATION OF 0'0" REFERENCED UNLESS NOTED OTHERWISE.
14. THE CONTRACTOR TO VERIFY ALL ELEVATIONS BEFORE STARTING WORK ON ELECTRICAL PANELS.
15. THE CONTRACTOR TO VERIFY ALL ELEVATIONS BEFORE STARTING WORK ON ELECTRICAL PANELS.

NOTE: NOT ALL ABBREVIATIONS ARE USED ON CONTRACT DRAWINGS.

**EQUIPMENT TYPES**

- AAV . AIR ADMITTANCE VALVE
- CP . CIRCULATOR PUMP
- DCV . DOUBLE CHECK VALVE BACKFLOW PREVENTER
- ET . EXPANSION TANK (COMPRESSION TANK)
- MM . INSTANTANEOUS WATER HEATER
- RPZ . REDUCED PRESSURE PRINCIPLE TYPE BACKFLOW PREVENTER
- EWH . ELECTRIC WATER HEATER

	DOMESTIC HOT WATER LINE (H)
	DOMESTIC HOT WATER RECIRCULATION LINE
	POINT OF CONNECTION
	PIPING TURNED DOWN
	PIPING TURNED UP

**SUPPORTS AND ANCHORS :**

1. SELECT APPROPRIATE TYPE OF HANGAR USING AISC SPEC. RECOMMENDATIONS.
2. HANGARS FOR PIPE SIZES 2" AND OVER: CARBON STEEL, ADJUSTABLE CLEVIS

**SUBMITTALS :**

1. PRODUCT DATA: PROVIDE COMPONENT SIZE, ROUGH-IN REQUIREMENTS, SERVICE SIZES AND FINISHES.
2. MANUFACTURER'S INSTRUCTIONS INDICATE MANUFACTURER'S INSTALLATION INSTRUCTIONS INSIDE, ASSEMBLY AND SUPPORT REQUIREMENTS.

**EQUIPMENT :**

1. CATCH BASIN: HEAVY DUTY 12" SQUARE DRAIN WITH BOTTOM OUTLET BODY: STANDARD 1" THICK, RIBBED GRATE AND SEDIMENT BUCKET: MP48 SERIES 1/4" OR EQUIVALENT, STAINLESS STEEL BODY.

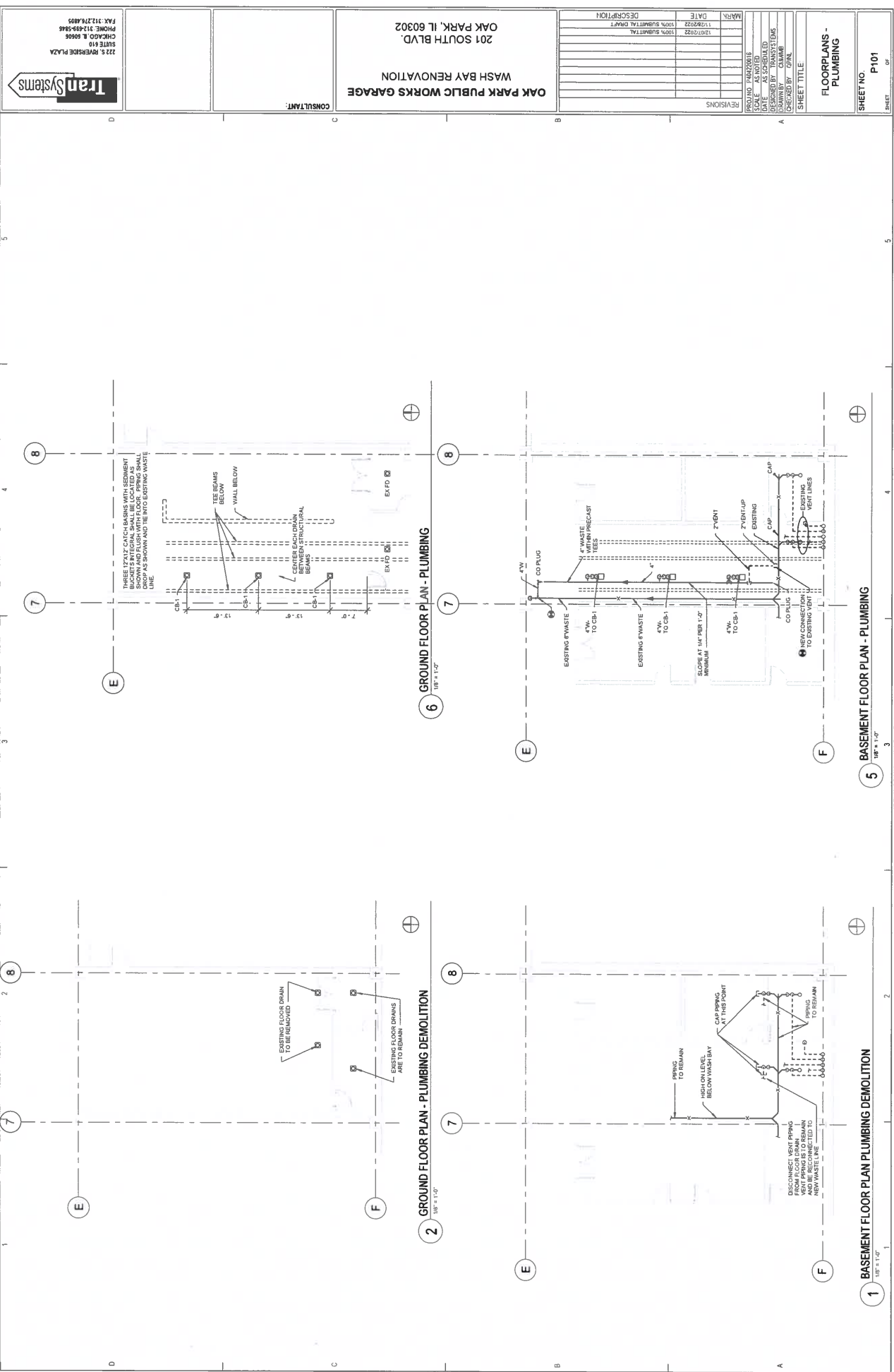
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CB-1	CATCH BASIN - 17X17"	AS NOTED	AS NOTED	N/A	N/A	17X17" TRAFFIC RATED GRATE WITH ACCESSIBLE SEDIMENT BUCKET - SEE SPECIFICATIONS

## EQUIPMENT:

CATCH BASIN HEAVY DUTY 12" SQUARE DRAIN WITH BOTTOM OUTLET BODY STANDARD 1" THICK, HINGED GRATE AND SEDIMENT BUCKET, MFA9 SERIES F1400 OR EQUIVALENT, STAINLESS STEEL BODY, STAINLESS AND STAINLESS CYCLED, CLAY SECONDARY STAINED ALCO.

IF THIS DRAWING IS LESS THAN 22" X 34" IT IS A REDUCE SIZE DRAWING





TRANS SYSTEMS

221 S. ROOSEVELT PLAZA

CHICAGO, IL 60606

PHONE: 312.455-5845

FAX: 312.776.4855

CONSULTANT:

OAK PARK PUBLIC WORKS GARAGE

WASH BAY RENOVATION

OAK PARK, IL 60302

REVISIONS

DATE	DESCRIPTION
1/18/2022	100% SUBMITTAL DRAFT
1/18/2022	100% SUBMITTAL DRAFT

PROJECT: PARK20018

DATE: 1/18/2022

DESIGNED BY: TRANS SYSTEMS

DRAWN BY: CHAMBER

CHECKED BY: CHAMBER

SHEET TITLE: FLOORPLANS - PLUMBING

SHEET NO. P101

SHEET 5 OF 5

FILE PATH: R:\17253420\Oak Park Wash Pbg.m

PRINT DATE: 1/18/2022 11:53:55 AM

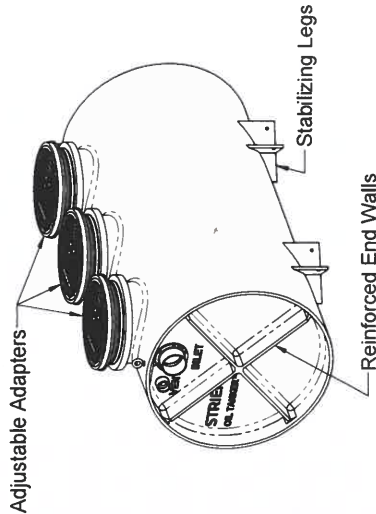


## SPECIFICATIONS

- 3" Plain end vents standard.
- Max flow rate: 314 GPM
- Liquid capacity: 560 Gallons (74.6 cu. ft.)
- Oil capacity: 285 Gallons
- Solids/sediment capacity: 162 Gallons
- Unit weight: 1053 lbs.
- H2O rated cast iron covers.
- Maximum operating temperature 140°F continuous.
- For buried applications only.

## ENGINEER SPECIFICATION GUIDE

Striem Oil Tanker™ model OT-500 shall be lifetime guaranteed and made in USA of High Density Polyethylene. Separator shall be furnished for below grade installation with field adjustable riser system. Separator flow rate shall be 314 GPM. Separator oil capacity shall be 285 gallons. Sand capacity shall be 162 gallons. Separator shall be certified to IAPMO IGC 183-2016.

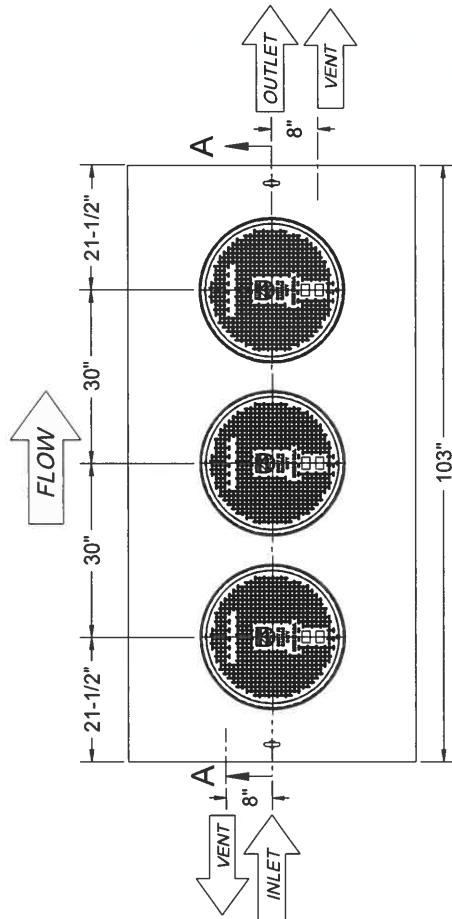


## ISOMETRIC VIEW

Signature of Approval: \_\_\_\_\_  
Company: \_\_\_\_\_  
Date of Approval: \_\_\_\_\_  
Specifying Engineer: \_\_\_\_\_  
Engineering Firm: \_\_\_\_\_

PROPRIETARY AND CONFIDENTIAL

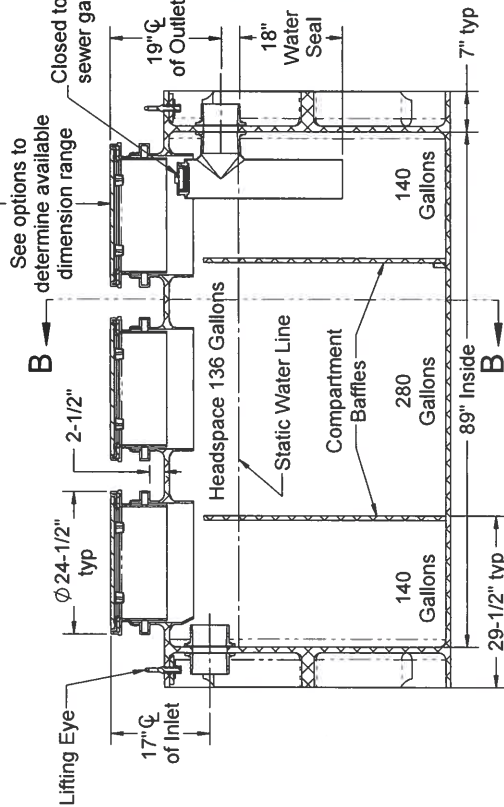
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF STRIEM, LLC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF STRIEM, LLC IS PROHIBITED.



## TOP VIEW

# FOR REFERENCE ONLY, NEW SPECIFICATION FOR OIL/WATER INTERCEPTOR

Finished Grade



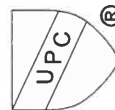
## SECTION A-A

PO IS NON-CANCELABLE  
ORDER IS NON-RETURNABLE

MODEL NUMBER: OT-500

DESCRIPTION:

OIL TANKER™  
POLYETHYLENE OIL SEPARATOR  
560 GALLON CAPACITY



DWG BY:WLF DATE: 6/17/21 REV: 0 ECO:

Directions: Choose connections, select options, sign and submit with purchase order.

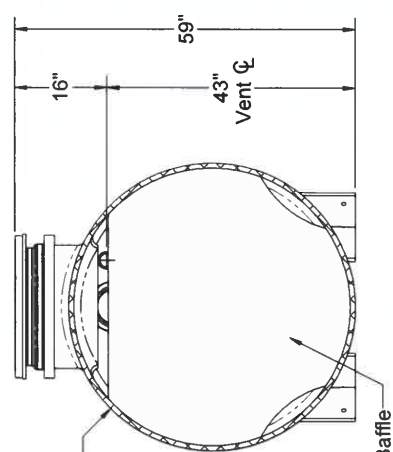
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Inlet / Outlet	Size
<input type="checkbox"/> Plain End	<input type="checkbox"/> 4"
<input type="checkbox"/> Male Thread	<input type="checkbox"/> 6"
	<input type="checkbox"/> 8" (Plain End Only)

Riser Options	
Included : 0" - 5"	
<input type="checkbox"/> SR24 (3) : >5" - 24"	
<input type="checkbox"/> LR24 (3) : >24" - 39"	
<input type="checkbox"/> SR24 (6) : >39" - 43"	
<input type="checkbox"/> SR24 (3) + LR24 (3) : >43" - 58"	
<input type="checkbox"/> LR24 (6) : >58" - 72"	
<input type="checkbox"/> SR24 (6) + LR24 (3) : >72" - 90"	
<input type="checkbox"/> LR24 (9) : >90" - 106"	
- OR -	

- ☐ CPRK (3) : >11" - 106"
- Corrugated Pipe Riser Kit.
- 18" diameter corrugated pipe by others.
- See CPRK specification for more detail.

## Additional Options

- ☐ HDK-500 : High Water Table Hold Down Kit
  - ☐ SS : Slick Stick™ Oil Level Monitoring System\*
- \*Monitoring system will raise covers by 3".



## SECTION B-B

## SPECIFICATION SHEET

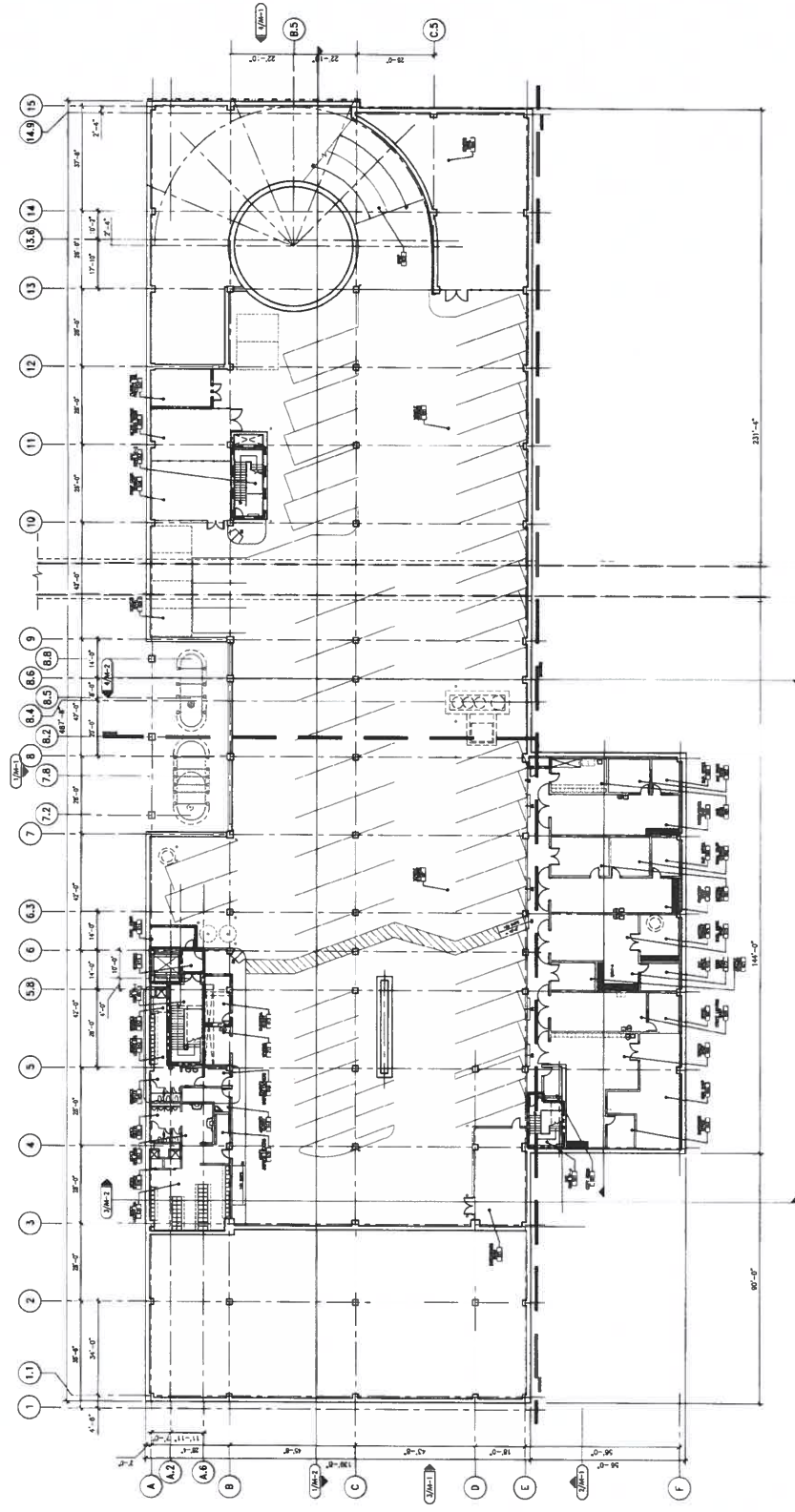


Striem  
3100 Brinkerhoff  
Kansas City, KS 66115  
Tel: 913-222-1500  
orders@striemco.com  
www.striemco.com

Made in the U.S.A



FOR REFERENCE ONLY,  
ALL EXISTING CONDITIONS  
TO BE VERIFIED IN FIELD



1 LOWER LEVEL PLAN  
7/18/2020

CONSULTANT		REVISIONS		PROJECT INFORMATION		CLIENT INFORMATION		DRAWING INFORMATION	
No.	Description	No.	Date	No.	Description	Owner	Project	Sheet No.	Drawing No.
1	1	1	7/18/2020	1	1	NEW PUBLIC WORKS FACILITY	15/07/20	A2-0	A2-0
CONSULTANT		REVISIONS		PROJECT INFORMATION		CLIENT INFORMATION		DRAWING INFORMATION	
No.	Description	No.	Date	No.	Description	Owner	Project	Sheet No.	Drawing No.
1	1	1	7/18/2020	1	1	NEW PUBLIC WORKS FACILITY	15/07/20	A2-0	A2-0



SEE SHEET A2-0A & A2-0B FOR GENERAL NOTES AND  
REMARKS[illegible]

1 PARTIAL FLOOR PLAN - 000 LEVEL



KEYPLAN 



Oak Park  
NEW PUBLIC WORKS FACILITY

PARTIAL FLOOR PLAN  
000 LEVEL "C"

Sheet Name  
A2-0C

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**Holabird & Root**  
Architecture Engineering Interiors  
300 West Adams Street  
Chicago, Illinois 60606  
Telephone 312 725 5660  
Telex 251000  
Fax 312 725 8000

02/02/06	CONS. DOC. REV.1
01/17/06	ISSUE FOR CONSTRUCTION
12/23/05	ISSUE FOR BID
12/09/05	ISSUED FOR FINAL REVIEW
11/07/05	FOUNDATION PERMIT

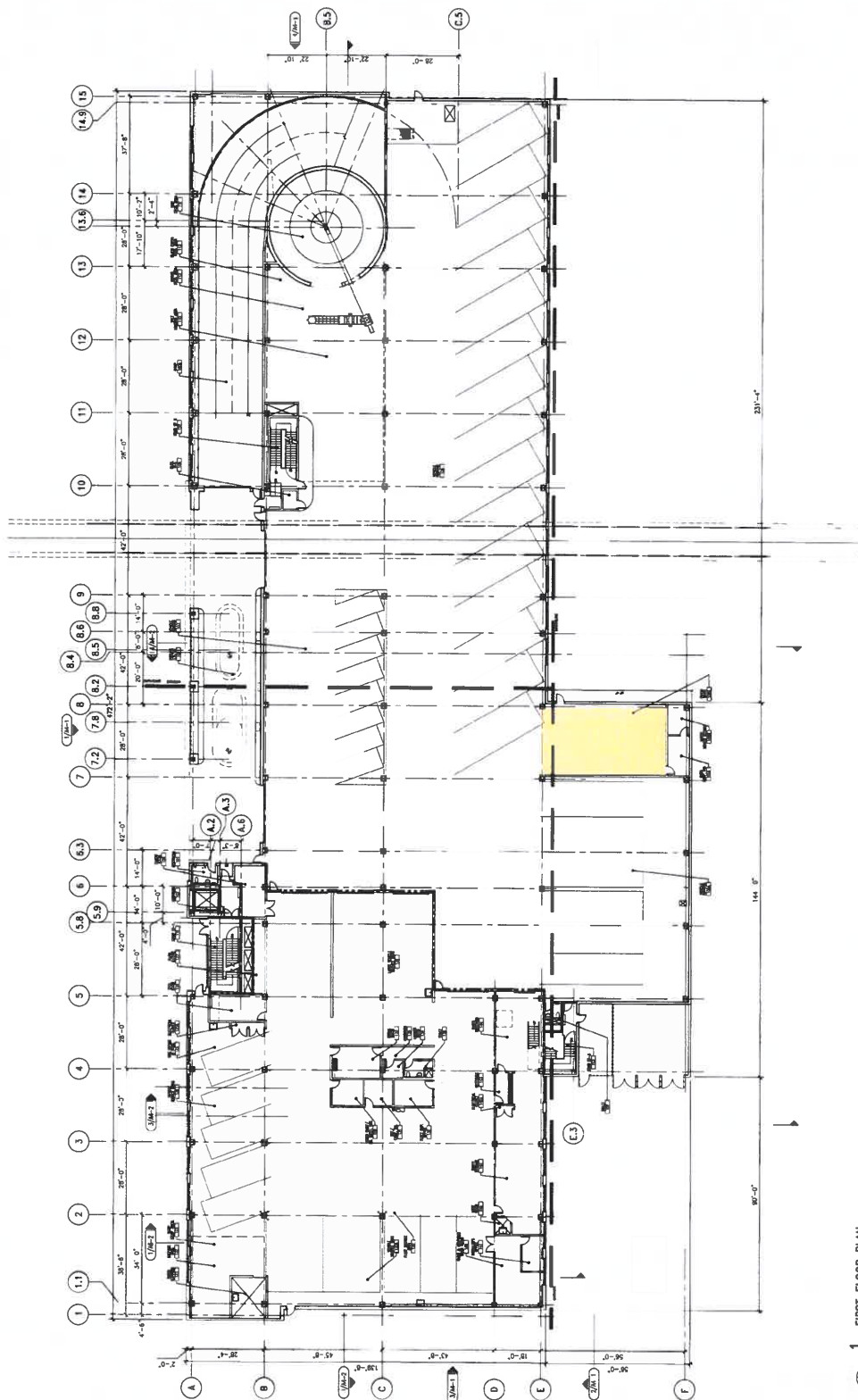
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FOR REFERENCE ONLY,  
ALL EXISTING CONDITIONS  
TO BE VERIFIED IN FIELD



1 FIRST FLOOR PLAN  
1/8" = 1'-0" REF

<div> </div>		<div> <div>CONTRACT</div> <div>NEW PUBLIC WORKS FACILITY</div> </div>		<div> <div>FLOOR PLAN</div> <div>100 LEVEL</div> <div>Sheet Name</div> </div>		<div> <div>Drawing No. A2-1</div> </div>	
		<div> <div>Project</div> </div>		<div> <div>AS NOTED</div> </div>		<div> <div>Scale</div> </div>	
<div> <div>Contract No.</div> <div>14378</div> </div>		<div> <div>Date</div> <div>December 8, 2005</div> </div>		<div> <div>Drawn</div> <div>CM/JA</div> </div>		<div> <div>Checked</div> <div>JA</div> </div>	
<div> <div>Project Description</div> <div>Design of the 100 Level of the New Orleans Convention Center, including the existing structure and the new addition. The design includes the structural, mechanical, and electrical systems. The design is based on the existing conditions and the requirements of the City of New Orleans. The design is subject to change without notice.</div> </div>		<div> <div>Project Description</div> <div>Design of the 100 Level of the New Orleans Convention Center, including the existing structure and the new addition. The design includes the structural, mechanical, and electrical systems. The design is based on the existing conditions and the requirements of the City of New Orleans. The design is subject to change without notice.</div> </div>		<div> <div>Project Description</div> <div>Design of the 100 Level of the New Orleans Convention Center, including the existing structure and the new addition. The design includes the structural, mechanical, and electrical systems. The design is based on the existing conditions and the requirements of the City of New Orleans. The design is subject to change without notice.</div> </div>		<div> <div>Project Description</div> <div>Design of the 100 Level of the New Orleans Convention Center, including the existing structure and the new addition. The design includes the structural, mechanical, and electrical systems. The design is based on the existing conditions and the requirements of the City of New Orleans. The design is subject to change without notice.</div> </div>	
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The architectural drawing shows a detailed floor plan of the second level. The plan includes several rooms and functional areas:

- Capt. Room**: Located near the center-left, containing a desk and chair.
- Office**: Multiple offices are distributed across the plan, some equipped with desks and chairs.
- Storage**: Several storage areas are indicated, including "STORAGE" and "STORAGE SHED".
- Structural Elements**: The plan features numerous columns, walls, and doors. A staircase is visible on the left side.
- Dimensions and Annotations**: Various dimensions are noted throughout the plan, such as "10' x 10'", "10' x 12'", and "10' x 14'". Other annotations include "DOOR", "WINDOW", and "CLOSET".
- Room Numbers**: Some rooms are labeled with numbers, such as "ROOM 101", "ROOM 102", and "ROOM 103".

The drawing is oriented horizontally, with a north arrow pointing towards the top right corner. The overall layout suggests a functional workspace or administrative building.

[illegible]







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ALL EXISTING CONDITIONS  
TO BE VERIFIED IN FIELD**

14376	Comm. No.	14376	Project	SI-1
Delta	Date	August 22, 2005		
Duran	Drawn	D.A.U.I.E.T.		
Checked	0.03200			
Proj. Arch./Eng.	0.03200			
Scale				
 <b>NEW PUBLIC WORKS FACILITY</b>			GENERAL NOTES	
			Sheet Name	
			Drawing No.	



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for Permit

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FOR SHOW UNTIL REFER TO ARCHITECTURAL ELEMENTS FOR LOCATION/USE.  
CITY & 2 TO 3-7 FOR SCHEDULE.

- AT TYPICAL WALL ELONGATION @ CORROSION PROCEEDS 0.0001 IN./CYC. (SEE FIGURE 1)  
 - AT TYPICAL WALL ELONGATION RATE FROM CORROSION PROCEEDS 0.0001 IN./CYC. (SEE FIGURE 1)  
 - AT TYPICAL WALL ELONGATION RATE FROM CORROSION PROCEEDS 0.0001 IN./CYC. (SEE FIGURE 1)

NOTE: 4" x 4" HIGH EXTENSION OF WALL PIPES DOES NOT APPLY AT THE FOLLOWING CORROSION RATES: 0.1, 0.2, 0.3, 0.4, 0.5, 0.6, 0.7, 0.8, 0.9, 1.0, 1.1, 1.2, 1.3, 1.4, 1.5, 1.6, 1.7, 1.8, 1.9, 2.0, 2.1, 2.2, 2.3, 2.4, 2.5, 2.6, 2.7, 2.8, 2.9, 3.0, 3.1, 3.2, 3.3, 3.4, 3.5, 3.6, 3.7, 3.8, 3.9, 4.0, 4.1, 4.2, 4.3, 4.4, 4.5, 4.6, 4.7, 4.8, 4.9, 5.0, 5.1, 5.2, 5.3, 5.4, 5.5, 5.6, 5.7, 5.8, 5.9, 6.0, 6.1, 6.2, 6.3, 6.4, 6.5, 6.6, 6.7, 6.8, 6.9, 7.0, 7.1, 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 8.0, 8.1, 8.2, 8.3, 8.4, 8.5, 8.6, 8.7, 8.8, 8.9, 9.0, 9.1, 9.2, 9.3, 9.4, 9.5, 9.6, 9.7, 9.8, 9.9, 10.0, 10.1, 10.2, 10.3, 10.4, 10.5, 10.6, 10.7, 10.8, 10.9, 11.0, 11.1, 11.2, 11.3, 11.4, 11.5, 11.6, 11.7, 11.8, 11.9, 12.0, 12.1, 12.2, 12.3, 12.4, 12.5, 12.6, 12.7, 12.8, 12.9, 13.0, 13.1, 13.2, 13.3, 13.4, 13.5, 13.6, 13.7, 13.8, 13.9, 14.0, 14.1, 14.2, 14.3, 14.4, 14.5, 14.6, 14.7, 14.8, 14.9, 15.0, 15.1, 15.2, 15.3, 15.4, 15.5, 15.6, 15.7, 15.8, 15.9, 16.0, 16.1, 16.2, 16.3, 16.4, 16.5, 16.6, 16.7, 16.8, 16.9, 17.0, 17.1, 17.2, 17.3, 17.4, 17.5, 17.6, 17.7, 17.8, 17.9, 18.0, 18.1, 18.2, 18.3, 18.4, 18.5, 18.6, 18.7, 18.8, 18.9, 19.0, 19.1, 19.2, 19.3, 19.4, 19.5, 19.6, 19.7, 19.8, 19.9, 20.0, 20.1, 20.2, 20.3, 20.4, 20.5, 20.6, 20.7, 20.8, 20.9, 21.0, 21.1, 21.2, 21.3, 21.4, 21.5, 21.6, 21.7, 21.8, 21.9, 22.0, 22.1, 22.2, 22.3, 22.4, 22.5, 22.6, 22.7, 22.8, 22.9, 23.0, 23.1, 23.2, 23.3, 23.4, 23.5, 23.6, 23.7, 23.8, 23.9, 24.0, 24.1, 24.2, 24.3, 24.4, 24.5, 24.6, 24.7, 24.8, 24.9, 25.0, 25.1, 25.2, 25.3, 25.4, 25.5, 25.6, 25.7, 25.8, 25.9, 26.0, 26.1, 26.2, 26.3, 26.4, 26.5, 26.6, 26.7, 26.8, 26.9, 27.0, 27.1, 27.2, 27.3, 27.4, 27.5, 27.6, 27.7, 27.8, 27.9, 28.0, 28.1, 28.2, 28.3, 28.4, 28.5, 28.6, 28.7, 28.8, 28.9, 29.0, 29.1, 29.2, 29.3, 29.4, 29.5, 29.6, 29.7, 29.8, 29.9, 30.0, 30.1, 30.2, 30.3, 30.4, 30.5, 30.6, 30.7, 30.8, 30.9, 31.0, 31.1, 31.2, 31.3, 31.4, 31.5, 31.6, 31.7, 31.8, 31.9, 32.0, 32.1, 32.2, 32.3, 32.4, 32.5, 32.6, 32.7, 32.8, 32.9, 33.0, 33.1, 33.2, 33.3, 33.4, 33.5, 33.6, 33.7, 33.8, 33.9, 34.0, 34.1, 34.2, 34.3, 34.4, 34.5, 34.6, 34.7, 34.8, 34.9, 35.0, 35.1, 35.2, 35.3, 35.4, 35.5, 35.6, 35.7, 35.8, 35.9, 36.0, 36.1, 36.2, 36.3, 36.4, 36.5, 36.6, 36.7, 36.8, 36.9, 37.0, 37.1, 37.2, 37.3, 37.4, 37.5, 37.6, 37.7, 37.8, 37.9, 38.0, 38.1, 38.2, 38.3, 38.4, 38.5, 38.6, 38.7, 38.8, 38.9, 39.0, 39.1, 39.2, 39.3, 39.4, 39.5, 39.6, 39.7, 39.8, 39.9, 40.0, 40.1, 40.2, 40.3, 40.4, 40.5, 40.6, 40.7, 40.8, 40.9, 41.0, 41.1, 41.2, 41.3, 41.4, 41.5, 41.6, 41.7, 41.8, 41.9, 42.0, 42.1, 42.2, 42.3, 42.4, 42.5, 42.6, 42.7, 42.8, 42.9, 43.0, 43.1, 43.2, 43.3, 43.4, 43.5, 43.6, 43.7, 43.8, 43.9, 44.0, 44.1, 44.2, 44.3, 44.4, 44.5, 44.6, 44.7, 44.8, 44.9, 45.0, 45.1, 45.2, 45.3, 45.4, 45.5, 45.6, 45.7, 45.8, 45.9, 46.0, 46.1, 46.2, 46.3, 46.4, 46.5, 46.6, 46.7, 46.8, 46.9, 47.0, 47.1, 47.2, 47.3, 47.4, 47.5, 47.6, 47.7, 47.8, 47.9, 48.0, 48.1, 48.2, 48.3, 48.4, 48.5, 48.6, 48.7, 48.8, 48.9, 49.0, 49.1, 49.2, 49.3, 49.4, 49.5, 49.6, 49.7, 49.8, 49.9, 50.0, 50.1, 50.2, 50.3, 50.4, 50.5, 50.6, 50.7, 50.8, 50.9, 51.0, 51.1, 51.2, 51.3, 51.4, 51.5, 51.6, 51.7, 51.8, 51.9, 52.0, 52.1, 52.2, 52.3, 52.4, 52.5, 52.6, 52.7, 52.8, 52.9, 53.0, 53.1, 53.2, 53.3, 53.4, 53.5, 53.6, 53.7, 53.8, 53.9, 54.0, 54.1, 54.2, 54.3, 54.4, 54.5, 54.6, 54.7, 54.8, 54.9, 55.0, 55.1, 55.2, 55.3, 55.4, 55.5, 55.6, 55.7, 55.8, 55.9, 56.0, 56.1, 56.2, 56.3, 56.4, 56.5, 56.6, 56.7, 56.8, 56.9, 57.0, 57.1, 57.2, 57.3, 57.4, 57.5, 57.6, 57.7, 57.8, 57.9, 58.0, 58.1, 58.2, 58.3, 58.4, 58.5, 58.6, 58.7, 58.8, 58.9, 59.0, 59.1, 59.2, 59.3, 59.4, 59.5, 59.6, 59.7, 59.8, 59.9, 60.0, 60.1, 60.2, 60.3, 60.4, 60.5, 60.6, 60.7, 60.8, 60.9, 61.0, 61.1, 61.2, 61.3, 61.4, 61.5, 61.6, 61.7, 61.8, 61.9, 62.0, 62.1, 62.2, 62.3, 62.4, 62.5, 62.6, 62.7, 62.8, 62.9, 63.0, 63.1, 63.2, 63.3, 63.4, 63.5, 63.6, 63.7, 63.8, 63.9, 64.0, 64.1, 64.2, 64.3, 64.4, 64.5, 64.6, 64.7, 64.8, 64.9, 65.0, 65.1, 65.2, 65.3, 65.4, 65.5, 65.6, 65.7, 65.8, 65.9, 66.0, 66.1, 66.2, 66.3, 66.4, 66.5, 66.6, 66.7, 66.8, 66.9, 67.0, 67.1, 67.2, 67.

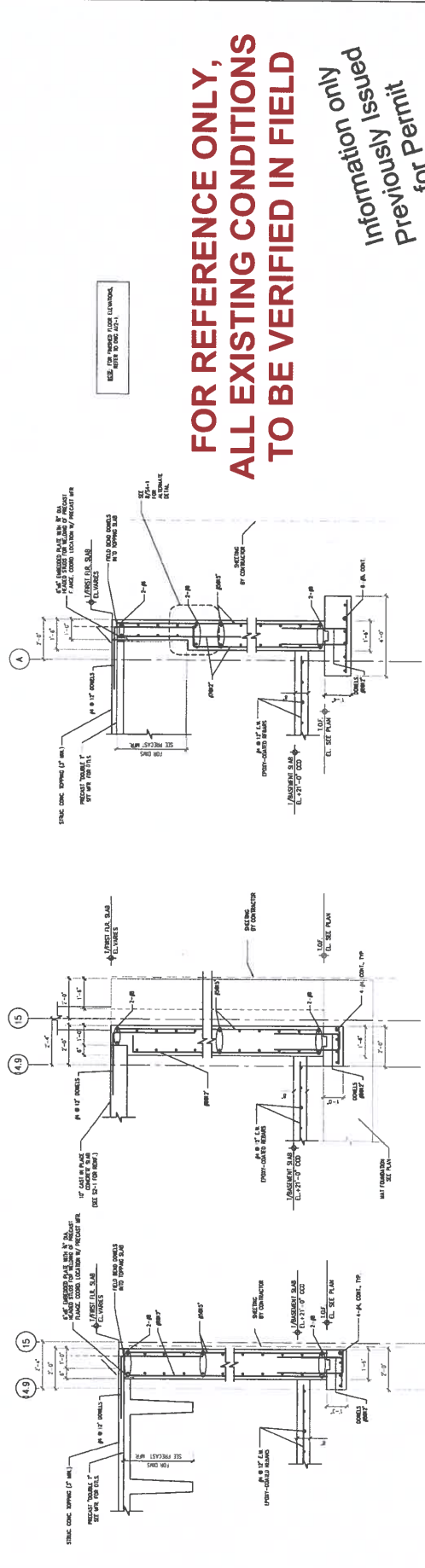
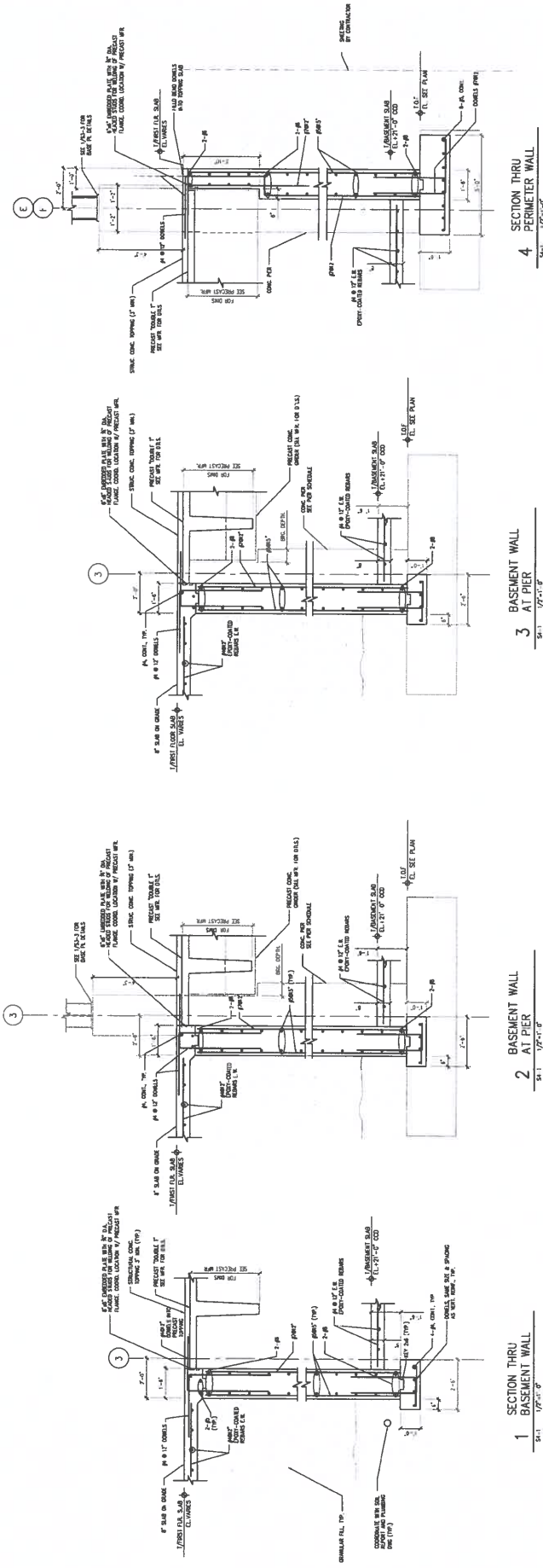
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		1	11/07/02	FOUNDATION PERMIT
		2	12/09/02	ISSUED FOR FINAL REVIEW
		3	12/23/04	ISSUE FOR BID
		4	2/17/04	ISSUE FOR CONSTRUCTION
		5	3/29/04	CONS. DOC. REV. 1
		6	05/24/06	SUPPLEMENTAL PERMIT
		7	03/10/06	FOUNDATION PERMIT REV. 1
		8	07/27/06	CONSTR. DOC. REV. 2

**Holtsbird & Root**  
Architecture Engineering Interiors  
300 West Adams Street  
Chicago, Illinois 60605  
Telephone 312 726 2660  
Facsimile 312 726 1118

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<p><b>FIRST FLOOR FRAMING PLAN</b></p>	<p>Sheet Name</p>	<p><b>S2-1</b></p>
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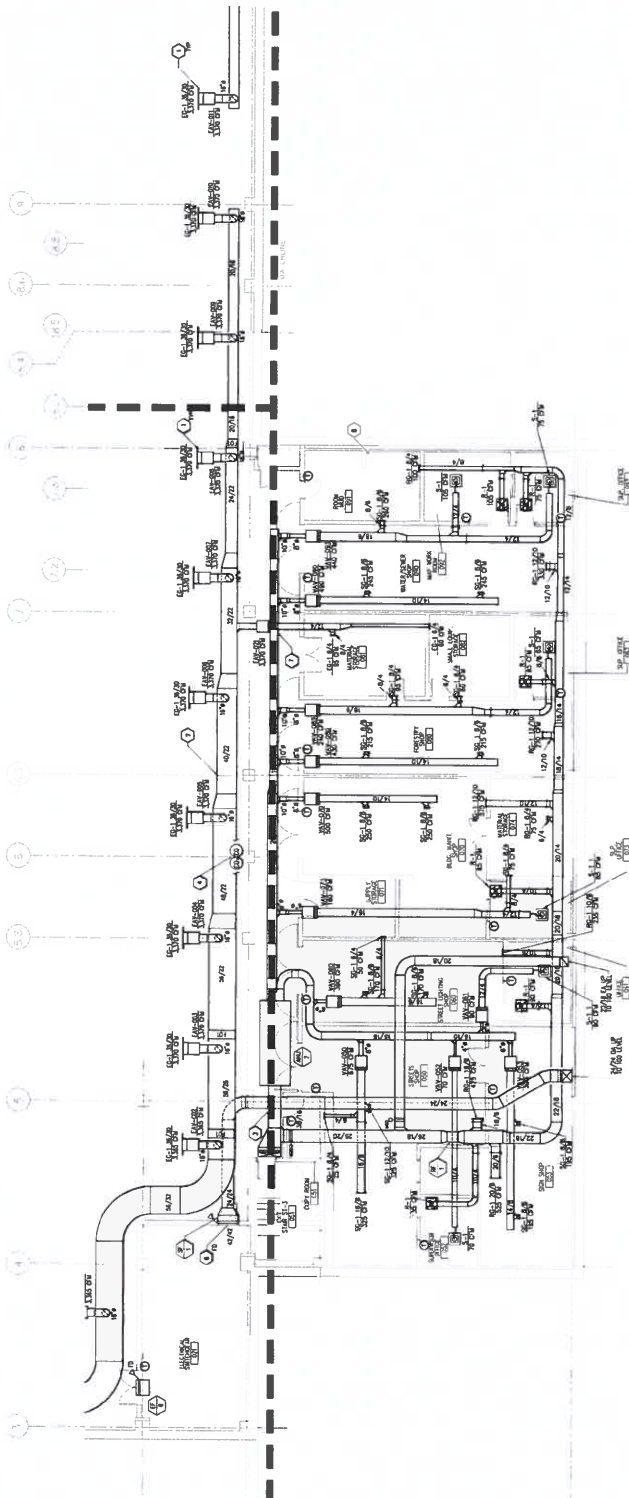
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Revision				Project Information			
No.	Date	Description	By	Project	Drawn	Checked	Scale
1	02/21/06	CONSTR. DOC. REV. 2		NEW PUBLIC WORKS FACILITY	D. ALUE	D. ALUE	AS NOTED
2	07/17/06	ISSUED FOR CONSTRUCTION					
3	12/23/05	ISSUED FOR BID					
4	05/17/06	SUPPLEMENTAL PERMIT					
5	02/21/06	FOUNDATION PERMIT REV. 1					
6	02/21/06	FOUNDATION PERMIT REV. 1					
7	02/21/06	FOUNDATION PERMIT REV. 1					
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100	02/21/06	FOUNDATION PERMIT REV. 1					



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TO BE VERIFIED IN FIELD



KEYED NOTES:

- 1 TOP OF EXHAUST ORILLE 6" BELOW INTERCODE OF SLAB
- 2 ROOM DUCTWORK TIGHT TO STRUCTURE
- 3 INSULATE 5A DUCTWORK WITHIN SHAFT AND IN CEILING SPACES
- 4 MOUNT CARBON DIOXIDE AND CARBON MONOXIDE SENSORS 30" AFT.
- 5 2-HOUR RATED INTER-BLADE FIRE DAMPER COVER BOTH SIDES OF OPENING WITH 3/4" MESH
- 6 2-HOUR RATED INTER-BLADE FIRE DAMPER COVER BOTH SIDES OF
- 7 INSULATE ALL SUPPLY DUCTWORK ASSOCIATED WITH AHU-2
- 8 CONNECT 4" STAINLESS STEEL EXHAUST TO CLOTHES DRYER

1 PARTIAL MECHANICAL DUCTWORK

PLAN 000 LEVEL C

02-02 10/11/07



SECTION C

SECTION C

SECTION C

NEW PUBLIC WORKS FACILITY

August 22, 2005

J. GONZALEZ

J. MESSE

L. HUPPER

AS NOTED

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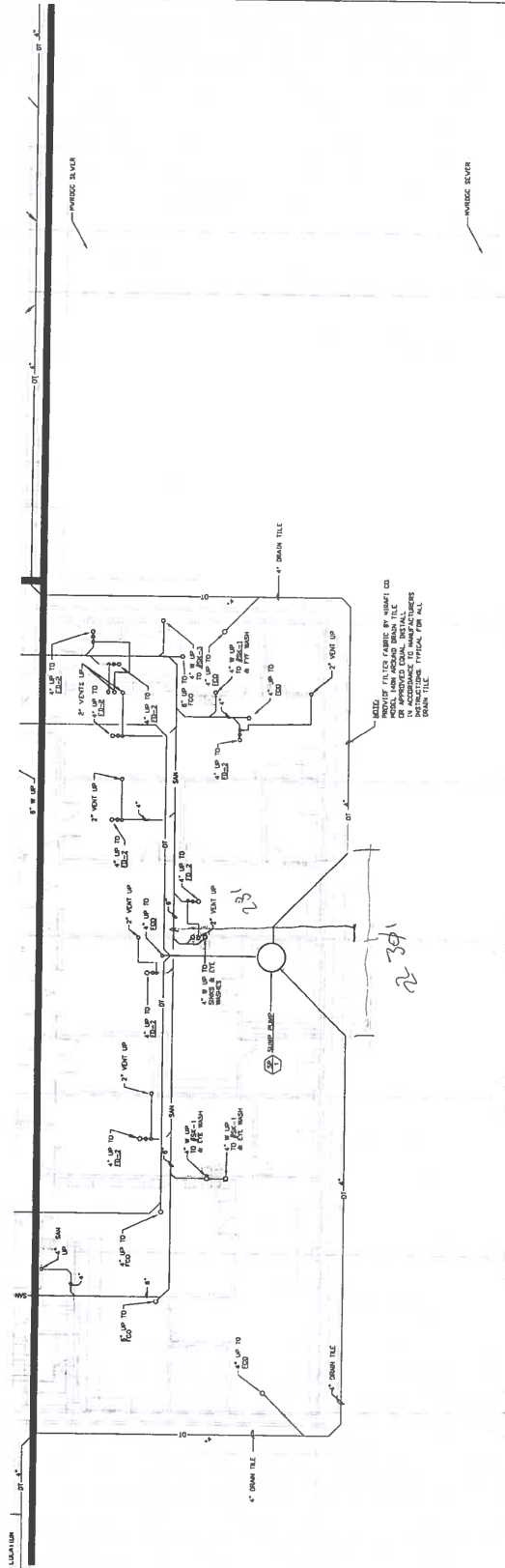
AS NOTED







NOTES:	* COORDINATE ALL UNDERGROUND PIPING WITH ALL EXISTING UTILITIES SEE CONTRACTORS
KEY NOTES:	① MONITOR & REPAIR SLIPS RAIL AT 100' ON OUTSTIPS


$$\begin{array}{r} 34 \overline{) 2} \\ -14 \\ \hline 20 \end{array}$$

<sup>1</sup> PARTIAL PLUMBING PLAN - UG LEVEL

[illegible]



Architectural floor plan of a building with various rooms and a detailed electrical schematic. The plan includes a kitchen, living area, bedrooms, and a bathroom. The electrical schematic shows a central panel with multiple branches leading to outlets, switches, and lighting fixtures throughout the building. Dimensions and room labels are provided.

**NOTES:**

1. COORDINATE ALL ELECTRICAL WORK TO THE ARCHITECT'S AND ENGINEER'S PLANS.
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
3. ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
5. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
6. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
8. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.

1. COORDINATE ALL ROUTING OF PIPES WITH DUCTWORK AND ALL TRADES PRIOR TO INSTALLATION. SUBMIT SHOP DRAWINGS INDICATING ALL TRADES.

1 PARTIAL PLUMBING PLAN - 000 LEVEL

		5/17/06	BD PRICE--MODI	5	05/24/06	SUPER S / EXCL. PERMIT
4	5/1/06	ISSUED FOR BID	PACKAGE #4			
3	01/17/06	ISSUED FOR CONSTRUCTION				
2	12/23/05	ISSUED FOR BID				
1	12/09/05	FINAL REVIEW				
No.	Date	Description		No.	Date	Description

**Architecture Engineering Interiors**  
300 West Adams Street  
Chicago, Illinois 60608  
Telephone 312 775 5960  
Facsimile 312 775 1118  
Postoffice 507 285 7

Commen. No.	14576
Date	
Drawn	H-H
Checked	JT
Proj. Arch./Eng.	JDA
Scale	1/8" = 1' - 0"

1

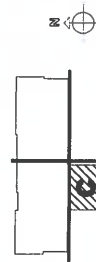
PLUMBING PLAN -  
BASEMENT

Denotation No. P2-0C



**NOTES:**

<sup>1</sup> PARTIAL PLUMBING PLAN -- 100 LEVEL

[illegible]



**FOR REFERENCE ONLY,  
ALL EXISTING CONDITIONS  
TO BE VERIFIED IN FIELD**

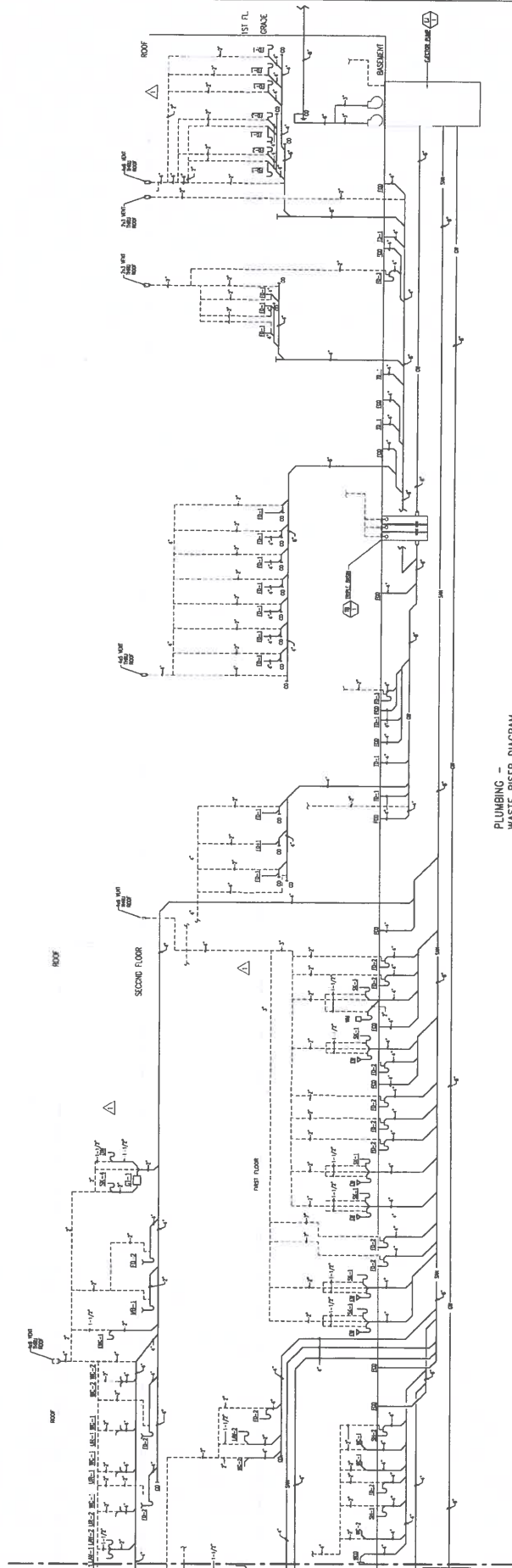
ROOF

FIRST FLOOR

SECOND FLOOR

BASMENT

MATCH LINE



WAS	P-1	WME
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[illegible]







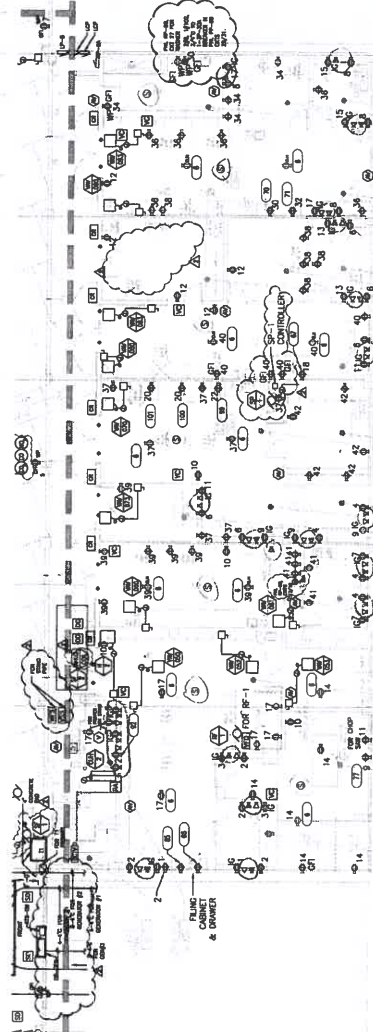
FOR REFERENCE ONLY,  
ALL EXISTING CONDITIONS  
TO BE VERIFIED IN FIELD

SHEET NOTES:

1. MINIMUM WIRE SHALL BE #12 AWG. MINIMUM CONDUIT SIZE SHALL BE 3/4".
2. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
3. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
4. ALL BRANCH CIRCUITS CANNOT BE MORE THAN 100 FEET LONG. IF A BRANCH CIRCUIT IS MORE THAN 100 FEET LONG, IT SHALL BE DIVIDED INTO TWO BRANCHES, EACH NO MORE THAN 100 FEET LONG.
5. ALL RECEPTABLES FOR COMPUTERS SHALL BE SEPARATE CIRCUITS AND NOT FROM PANEL.
6. ALL RECEPTABLES SHALL BE 120 VOLT, 15 AMP, 60 HZ, SINGLE PHASE.
7. COORDINATE RACKING WITH MECHANICAL, PLUMBING, AND THE PROTECTION OF EXISTING UTILITIES.
8. CONDUITS SHALL NOT PENETRATE FIRE RATED PARTITIONS OR FLOORS.
9. PROVIDE CABLE TRAYING AS REQUIRED BY MANUFACTURER.
10. PROVIDE RACKING FOR ALL WIRING.
11. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
12. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
13. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
14. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
15. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
16. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
17. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
18. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
19. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.
20. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL CITY AND STATE REQUIREMENTS.

20 phones  
18 data  
Speakers 7

KEY NOTES:



1 PARTIAL POWER PLAN - 000 LEVEL  
E5-06 1/8"=1'-0"



PROJECT: NEW PUBLIC WORKS FACILITY  
SHEET: E5-06  
DATE: AUGUST 22, 2005  
SCALE: 1/8"=1'-0"

PARTIAL POWER AND MISCELLANEOUS SYST. PLAN  
000 LEVEL - C

DATE	BY	CHKD	APP'D
08/21/05	08/21/05	08/21/05	08/21/05
08/21/05	08/21/05	08/21/05	08/21/05
08/21/05	08/21/05	08/21/05	08/21/05

PROJECT: NEW PUBLIC WORKS FACILITY  
SHEET: E5-06  
DATE: AUGUST 22, 2005  
SCALE: 1/8"=1'-0"

PROJECT: NEW PUBLIC WORKS FACILITY  
SHEET: E5-06  
DATE: AUGUST 22, 2005  
SCALE: 1/8"=1'-0"

NO.	DATE	DESCRIPTION
1	08/21/05	ISSUED FOR PERMIT
2	08/21/05	ISSUED FOR PERMIT
3	08/21/05	ISSUED FOR PERMIT
4	08/21/05	ISSUED FOR PERMIT
5	08/21/05	ISSUED FOR PERMIT
6	08/21/05	ISSUED FOR PERMIT
7	08/21/05	ISSUED FOR PERMIT
8	08/21/05	ISSUED FOR PERMIT
9	08/21/05	ISSUED FOR PERMIT
10	08/21/05	ISSUED FOR PERMIT
11	08/21/05	ISSUED FOR PERMIT
12	08/21/05	ISSUED FOR PERMIT
13	08/21/05	ISSUED FOR PERMIT
14	08/21/05	ISSUED FOR PERMIT
15	08/21/05	ISSUED FOR PERMIT
16	08/21/05	ISSUED FOR PERMIT
17	08/21/05	ISSUED FOR PERMIT
18	08/21/05	ISSUED FOR PERMIT
19	08/21/05	ISSUED FOR PERMIT
20	08/21/05	ISSUED FOR PERMIT

PROJECT: NEW PUBLIC WORKS FACILITY  
SHEET: E5-06  
DATE: AUGUST 22, 2005  
SCALE: 1/8"=1'-0"

PROJECT: NEW PUBLIC WORKS FACILITY  
SHEET: E5-06  
DATE: AUGUST 22, 2005  
SCALE: 1/8"=1'-0"

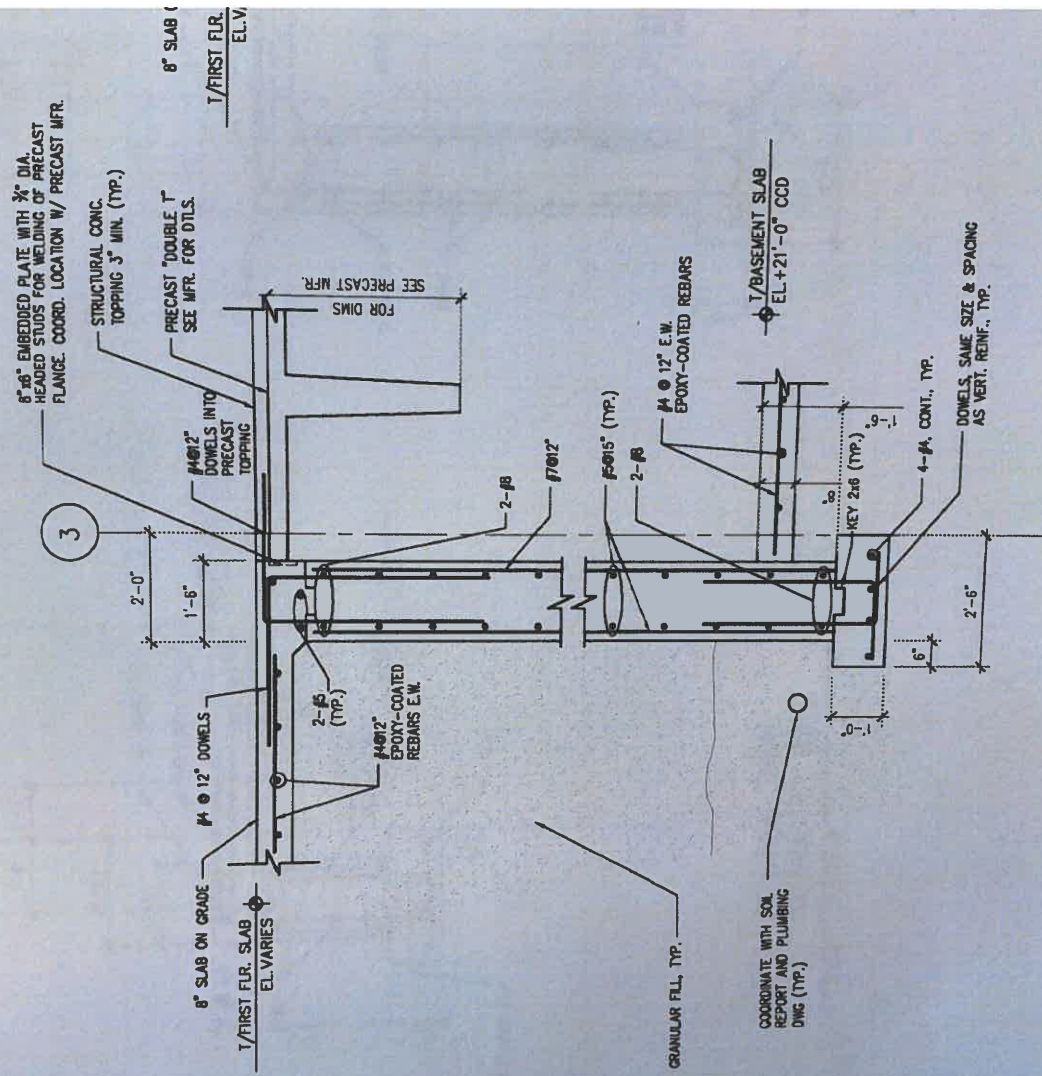
PROJECT: NEW PUBLIC WORKS FACILITY  
SHEET: E5-06  
DATE: AUGUST 22, 2005  
SCALE: 1/8"=1'-0"







**FOR REFERENCE ONLY,  
ALL EXISTING CONDITIONS  
TO BE VERIFIED IN FIELD**



1 SECTION THRU  
BASEMENT WALL



**SECTION IV**  
**PROPOSAL FORM (Pricing)**

The undersigned proposes to furnish all labor and materials required to complete the Work in accordance with the attached specifications and at the price indicated below.

**Total Lump Sum Cost Base Proposal:**                      \$ \_\_\_\_\_

*If proposing any alternates based on anything that could potentially be improved on, please list below along with alternate cost.*

*List Alternates (if any) or include as separate attachment:*

---

---

---

*Alternate(s) Cost:*     \$ \_\_\_\_\_

**24-Hour Emergency Call-back Number:**

(\_\_\_\_\_) \_\_\_\_\_

Printed Name: \_\_\_\_\_

Proposal Signature: \_\_\_\_\_

State of \_\_\_\_\_)      County of \_\_\_\_\_)

\_\_\_\_\_,  
(Type Name of Individual Signing)

being first duly sworn on oath deposes and says that the contractor on the above proposal is organized as indicated below and that all statements herein made on behalf of such Contractor and that their deponent is authorized to make them, and also deposes and says that deponent has examined and carefully prepared their proposal from the agreement specifications and has checked the same in detail before submitting this proposal; that the statements contained herein are true and correct.

Signature of contractor authorizes the Village of Oak Park to verify references of business and credit at its option.

Signature of contractor shall also be acknowledged before a Notary Public or other person authorized by law to execute such acknowledgments.



Dated: \_\_\_\_\_/\_\_\_\_\_/2022 \_\_\_\_\_

Organization Name  
(Seal - If Corporation)

By:

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Address

Telephone: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_,  
2022.

\_\_\_\_\_ in the State of \_\_\_\_\_. My

Commission

Notary Public

Expires on \_\_\_\_/\_\_\_\_/\_\_\_\_\_

Complete Applicable Paragraph Below

(a) Corporation

The contractor is a corporation, which operates under the legal name of \_\_\_\_\_ and is organized and existing under the laws of the State of \_\_\_\_\_. The full names of its Officers are:

President \_\_\_\_\_

Secretary \_\_\_\_\_

Treasurer \_\_\_\_\_

The corporation does have a corporate seal. (In the event that this proposal is executed by a person other than the President, attach hereto a certified copy of that section of Corporate By-Laws or other authorization by the Corporation that permits the person to execute the offer for the corporation.)

(b) Partnership

Names, Signatures, and Addresses of all Partners

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The partnership does business under the legal name of \_\_\_\_\_, which name is

is registered with the office of \_\_\_\_\_ in the county of \_\_\_\_\_.



(c) Sole Proprietor

The contractor is a Sole Proprietor whose full name is

\_\_\_\_\_. If the contractor is operating under

a trade name, said trade name is \_\_\_\_\_,

which name is registered with the office of \_\_\_\_\_

in the county of \_\_\_\_\_.

Signed: \_\_\_\_\_

Sole Proprietor

In compliance with the above, the undersigned offers and agrees, if his/her proposal is accepted within ninety (90) calendar days from date of opening, to furnish any or all of the items upon which prices are quoted, at the price set opposite each item, delivered at the designated point within the time specified above.



**MUNICIPAL QUALIFICATION REFERENCE SHEET**

**MUNICIPALITY**

**ADDRESS**

**CONTACT**

**PHONE**

**WORK  
PERFORMED**

**MUNICIPALITY**

**ADDRESS**

**CONTACT**

**PHONE**

**WORK  
PERFORMED**

**MUNICIPALITY**

**ADDRESS**

**CONTACT**

**PHONE**

**WORK  
PERFORMED**



**SECTION V**  
**CONTRACTOR CERTIFICATION**

\_\_\_\_\_, as part of its proposal on an agreement for construction Work  
(Name of Contractor selected) for the Village of Oak Park, hereby certifies that said contractor selected  
is not barred from proposing on the aforementioned agreement as a result of a violation to  
either Section 33E-3 or 33E-4 of Article 33E of Chapter 38 of the Illinois Revised Statutes or  
Section 2-6-12 of the Oak Park Village Code relating to "Proposing Requirement.

\_\_\_\_\_  
(Authorized Agent of Contractor selected)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public's Signature

- Notary Public Seal -



**SECTION VI**  
**TAX COMPLIANCE AFFIDAVIT**

\_\_\_\_\_, being first duly sworn, deposes and says:

that he/she is \_\_\_\_\_ of  
(partner, officer, owner, etc.)

\_\_\_\_\_.  
(Contractor selected)

The individual or entity making the foregoing proposal or proposal certifies that he/she is not barred from entering into an agreement with the Village of Oak Park because of any delinquency in the payment of any tax administered by the Department of Revenue unless the individual or entity is contesting, in accordance with the procedures established by the appropriate revenue act, liability for the tax or the amount of the tax. The individual or entity making the proposal or proposal understands that making a false statement regarding delinquency in taxes is a Class A Misdemeanor and, in addition, voids the agreement and allows the municipality to recover all amounts paid to the individual or entity under the agreement in civil action.

By: \_\_\_\_\_

Its: \_\_\_\_\_

\_\_\_\_\_  
(name of contractor if the contractor is an individual)

\_\_\_\_\_  
(name of partner if the contractor is a partnership)

\_\_\_\_\_  
(name of officer if the contractor is a corporation)

The above statement must be subscribed and sworn to before a notary public.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public's Signature

- Notary Public Seal -

**Reporting Requirements**

The following forms must be completed in their entirety, notarized and included as part of the proposal document. Failure to respond truthfully to any question on the list or failure to cooperate fully with further inquiry by the Village of Oak Park will result in disqualification of your proposal.



**SECTION VII**  
**ORGANIZATION OF PROPOSING FIRM**

**Please fill out the applicable section:**

**A. Corporation:**

The contractor is a corporation, legally named \_\_\_\_\_ and is organized and existing in good standing under the laws of the State of \_\_\_\_\_. The full names of its officers are:

President \_\_\_\_\_

Secretary \_\_\_\_\_

Treasurer \_\_\_\_\_

Registered Agent Name and Address: \_\_\_\_\_

The corporation has a corporate seal. (In the event that this proposal is executed by a person other than the President, attach hereto a certified copy of that section of Corporate By-Laws or other authorization by the Corporation that permits the person to execute the offer for the corporation.)

**B. Sole Proprietor:**

The contractor is a Sole Proprietor. If the contractor does business under an assumed name, the

assumed name is \_\_\_\_\_, which is registered with the Cook County Clerk. The contractor is otherwise in compliance with the Assumed Business Name Act, 805 ILCS 405/0.01, et. seq.

**C. Partnership:**

The contractor is a partnership which operates under the name \_\_\_\_\_

The following are the names, addresses and signatures of all partners:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signature

\_\_\_\_\_

Signature

(Attach additional sheets if necessary.) If so, check here \_\_\_\_\_.

If the partnership does business under an assumed name, the assumed name must be registered with the Cook County Clerk and the partnership is otherwise in compliance with the Assumed Business Name Act, 805 ILCS 405/0.01, et. seq.

**D. Affiliates:** The name and address of any affiliated entity of the business, including a description of the affiliation: \_\_\_\_\_

\_\_\_\_\_

Signature of Owner



## SECTION VIII

### PROPOSAL BOND

WE \_\_\_\_\_  
as PRINCIPAL, and \_\_\_\_\_  
as SURETY, are held and firmly bound unto the Village of Oak Park, Illinois (hereafter referred to as "VOP") in the penal sum of Ten Percent (10%) of the total Proposal price, as specified in the invitation for Proposals. We bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly to pay to the VOP this sum under the conditions of this instrument.

WHEREAS THE CONDITION OF THE FOREGOING OBLIGATION IS SUCH that, the said PRINCIPAL is submitting a written Proposal to the VOP acting through its awarding authority for the completion of the work designated as the above section.

THEREFORE if the Proposal is accepted and an agreement awarded to the PRINCIPAL by the VOP for the above-designated section and the PRINCIPAL shall within fifteen (15) days after award enter into a formal agreement, furnish surety guaranteeing the faithful performance of the work, and furnish evidence of the required insurance coverage, all as provided in specifications then this obligation shall become void; otherwise it shall remain in full force and effect.

IN THE EVENT the VOP determines the PRINCIPAL has failed to enter into a formal agreement in compliance with any requirements set forth in the preceding paragraph, then the VOP acting through its awarding authority shall immediately be entitled to recover the full penal sum set out above, together with all court costs, all attorney fees, and any other expense of recovery.

IN TESTIMONY WHEREOF, the said PRINCIPAL and the said SURETY have caused this instrument to be signed by their respective officers this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 2022.

PRINCIPAL

---

(Company Name)

---

(Company Name)

By: \_\_\_\_\_ By: \_\_\_\_\_  
(Signature & Title) (Signature & Title)

(If PRINCIPAL is a joint venture of two or more contractors, the company names, and authorized signatures of each contractor must be affixed)



Subscribed to and sworn before me on the

\_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public

**NAME OF SURETY**

By: \_\_\_\_\_

Signature of Attorney-in-Fact

subscribed to and sworn before me on the

\_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public



**SECTION IX**  
**CONTRACT BOND**



**Contract Bond**

\_\_\_\_\_, as PRINCIPAL, and \_\_\_\_\_ as SURETY, are held and firmly bound unto the Village of Oak Park (hereafter referred to as "Village") in the penal sum of \_\_\_\_\_, well and truly to be paid to the Village, for the payment of which its heirs, executors, administrators, successors and assigns, are bound jointly to pay to the Village under the conditions of this instrument.

**WHEREAS**, THE CONDITION OF THE FOREGOING OBLIGATION IS SUCH that, the Principal has entered into a written contract with the Village, acting through its President and Board of Trustees, for the construction of work, which contract is hereby referred to and made a part hereof as if written herein at length, and whereby the Principal has promised and agreed to perform the work in accordance with the terms of the contract, and has promised to pay all sums of money due for any labor, materials, apparatus, fixtures or machinery furnished to such Principal for the purpose of performing such work, including paying not less than the prevailing rate of wages in Cook County, where the work is for the construction of any public work subject to the Prevailing Wage Act, and has further agreed to save and indemnify and keep harmless the Village against all liabilities, judgments, costs and expenses which may in any manner accrue against the Village in consequence of granting such contract or which may in any manner result from the carelessness or neglect of the Principal, his agents, employees or workmen in any respect whatever; and has further agreed that this bond will inure to the benefit of any person, firm, company, or corporation, to whom any money may be due from the Principal, subcontractor or otherwise, for any such labor, materials, apparatus, fixtures or machinery so furnished and that suit may be maintained on such bond by any such person, firm, company, or corporation, for the recovery of any such money.

**NOW THEREFORE**, if the Principal shall well and truly perform the work in accordance with the terms of the contract, and shall pay all sums of money due or to become due for any labor, materials, apparatus, fixtures or machinery furnished to it for the purpose of constructing such work, and shall commence and complete the work within the time prescribed in the contract, and shall pay and discharge all damages, direct and indirect, that may be suffered or sustained on account of such work during the time of performance thereof and until the work shall have been accepted, and shall save and indemnify and keep harmless the Village against all liabilities, judgments, costs and expenses which may in any manner accrue against the Village in consequence of granting such contract or which may in any manner result from the carelessness or neglect of the Principal, his agents, employees or workmen in any respect whatever; and shall in all respects fully and faithfully comply with all the provisions, conditions, and requirements of the contract, then this obligation will be void; otherwise it will remain in full force and effect.



**IN WITNESS WHEREOF**, the PRINCIPAL and the SURETY have caused this instrument to be signed by their respective officers this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

**NAME OF PRINCIPAL**

By: \_\_\_\_\_  
Signature

By: \_\_\_\_\_  
Printed Name

Its: \_\_\_\_\_  
Title

Subscribed to and Sworn before me on the  
\_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public

**NAME OF SURETY**

By: \_\_\_\_\_  
Signature of Attorney-in-Fact

Subscribed to and Sworn before me on the  
\_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public



**SECTION X**  
**COMPLIANCE AFFIDAVIT**

I, \_\_\_\_\_, (print name) being first duly sworn on oath depose and state:

1. I am the (title) \_\_\_\_\_ of the proposing company and am authorized to make the statements contained in this affidavit on behalf of the company;
2. I have examined and carefully prepared this Proposal based on the request and have verified the facts contained in the Proposal in detail before submitting it;
3. The proposing company is organized as indicated above on the form entitled "Organization of Proposing Company."
4. I authorize the Village of Oak Park to verify the company's business references and credit at its option;
5. Neither the proposing company nor its affiliates<sup>1</sup> are barred from proposing on this project as a result of a violation of 720 ILCS 5/33E-3 or 33E-4 relating to Proposal rigging and Proposal rotating, or section 2-6-12 of the Oak Park Village Code relating to "Proposing Requirements".
6. The proposing company has the M/W/DBE status indicated below on the form entitled "EEO Report."
7. Neither the proposing company nor its affiliates is barred from agreeing with the Village of Oak Park because of any delinquency in the payment of any debt or tax owed to the Village except for those taxes which the proposing company is contesting, in accordance with the procedures established by the appropriate revenue act, liability for the tax or the amount of the tax. I understand that making a false statement regarding delinquency in taxes is a Class A Misdemeanor and, in addition, voids the agreement and allows the Village of Oak Park to recover all amounts paid to the proposing company under the agreement in civil action.
8. I am familiar with Section 13-3-2 through 13-3-4 of the Oak Park Village Code relating to Fair Employment Practices and understand the contents thereof; and state that the proposing company is an "Equal Opportunity Employer" as defined by Section 2000(E) of Chapter 21, Title 42 of the United States Code Annotated and Federal Executive Orders #11246 and #11375 which are incorporated herein by reference. **Also complete the attached EEO Report or Submit an EEO-1.**
9. I certify that the contractor is in compliance with the Drug Free Workplace Act, 41 U.S.C.A, 702

Signature: \_\_\_\_\_

Name and address of Business: \_\_\_\_\_

Telephone \_\_\_\_\_ E-Mail \_\_\_\_\_

Subscribed to and sworn before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Notary Public

- Notary Public Seal -

<sup>1</sup> Affiliates means: (i) any subsidiary or parent of the agreeing business entity, (ii) any member of the same unitary business group; (iii) any person with any ownership interest or distributive share of the agreeing business entity in excess of 7.5%; (iv) any entity owned or controlled by an executive employee, his or her spouse or minor children of the agreeing business entity.



**SECTION XI**  
**M/W/DBE STATUS AND EEO REPORT**

Failure to respond truthfully to any questions on this form, failure to complete the form or failure to cooperate fully with further inquiry by the Village of Oak Park will result in disqualification of this Proposal.

1. Contractor Name: \_\_\_\_\_

2. Check here if your firm is:

- ☐ Minority Business Enterprise (MBE) (A firm that is at least 51% owned, managed and controlled by a Minority.)
- ☐ Women's Business Enterprise (WBE) (A firm that is at least 51% owned, managed and controlled by a Woman.)
- ☐ Owned by a person with a disability (DBE) (A firm that is at least 51% owned by a person with a disability)
- ☐ None of the above

[Submit copies of any W/W/DBE certifications]

3. What is the size of the firm's current stable work force?

\_\_\_\_\_ Number of full-time employees

\_\_\_\_\_ Number of part-time employees

4. Similar information will be requested of all sub-contractors working on this agreement. Forms will be furnished to the lowest responsible contractor with the notice of agreement award, and these forms must be completed and submitted to the Village before the execution of the agreement by the Village.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



## EEO Report

Please fill out this form completely. Failure to respond truthfully to any questions on this form, or failure to cooperate fully with further inquiry by the Village of Oak Park will result in disqualification of this Proposal. An incomplete form will disqualify your Proposal.

**An EEO-1 Report may be submitted in lieu of this report**

Contractor Name \_\_\_\_\_

Total Employees \_\_\_\_\_

					Males				Females				
Job Category	Total # of Empl.	Total Males	Total Females	Black	Hispanic	American Indian	Alaskan Native	Asian & Pacific Islander	Hispanic	American Indian	Alaskan Native	Asian & Pacific Islander	Total Minorities
Officials & Managers													
Professionals													
Technicians													
Sales Workers													
Office & Clerical													
Semi-Skilled													
Laborers													
Service Workers													
Management Trainees													
Apprentices													

This completed and notarized report must accompany your Proposal. It should be attached to your Affidavit of Compliance. Failure to include it with your Proposal will be disqualify you from consideration.

\_\_\_\_\_, being first duly sworn, deposes and says that he/she is the \_\_\_\_\_

(Name of Person Making Affidavit)

(Title or Officer)

of \_\_\_\_\_ and that the above EEO Report information is true and accurate and is submitted with the intent that it

be relied upon. Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
( Signature )

\_\_\_\_\_  
( Date )



**SECTION XII**  
**NO PROPOSAL EXPLANATION**

If your company does not wish to propose on the attached specifications, the Village of Oak Park would be interested in any explanation or comment you may have as to what prevented your firm from submitting a proposal.

Thank you.

Proposal Name:

**Village of Oak Park Public Works Center Wash Bay Drainage Improvements**  
**Proposal Number: 22-134**  
**Issuance Date: 12/14/2022**

Comments:

Signed: \_\_\_\_\_

Phone: \_\_\_\_\_





**SAMPLE ONLY**  
**INDEPENDENT CONTRACTOR AGREEMENT**

**THIS INDEPENDENT CONTRACTOR AGREEMENT** ("Contract") is entered into on the \_\_\_\_ day of \_\_\_\_\_ 2022, by and between the Village of Oak Park, an Illinois home rule municipal corporation (hereinafter the "Village"), and \_\_\_\_\_, a \_\_\_\_\_ (hereafter the "Contractor").

**WHEREAS**, the Contractor submitted a Proposal to renovate the bunk room, locker room and restroom at the south fire station (hereinafter referred to as the "Work"), pursuant to the Village's Request for Proposals, attached hereto and incorporated herein by reference; and

**WHEREAS**, the Contractor represented in said Proposal that it has the necessary personnel, experience, and competence to promptly complete the Work and the work required hereunder; and

**WHEREAS**, the Contractor's Proposal is attached hereto and incorporated herein by reference into this Agreement; and

**WHEREAS**, the Contractor shall perform the Work pursuant to the terms and conditions of this Contract..

**NOW, THEREFORE**, in consideration of the premises and the mutual promises contained in this Contract,, and other good and valuable consideration received and to be received, it is mutually agreed by and between the parties as follows:

**1. RECITALS INCORPORATED**

The above recitals are incorporated herein as though fully set forth.

**2. SCOPE OF WORK**

The Contractor shall perform the Work in accordance with its Proposal for a total cost not to exceed \$\_\_\_\_\_ ("Contract Price"). The Contractor shall complete the Work in accordance with any applicable manufacturers' warranties and in accordance with the Village's Request for Proposals, the Contractor's Proposal and this Contract, all of which, together shall constitute the Contract Documents. The Contractor acknowledges that it has inspected the sites where the work is to be performed and that it is fully familiar with all of the conditions at the sites, and further that its Proposal has adequately taken into consideration all of the conditions at the sites. The Contractor hereby represents and warrants that it has the skill and experience necessary to complete this Work in a good and workmanlike manner. The Contractor further represents and warrants that the Work will be completed in a good and workmanlike manner in accordance with the Contract Documents, and that the Work will be free from defects.

The Contractor shall achieve completion of all work required pursuant to the Contract



Documents by December 31, 2022 ("Contract Time"). The Contract Time is of the essence. In the event the Contractor fails to complete the Project on or before said date, the Village shall be entitled to liquidated damages in the amount of \$500.00 per day for each day the work remains uncompleted beyond the completion date set forth above. This amount is not a penalty, and the parties agree to said amount given the difficulties associated with determining or calculating damages to the Village in the event the Project is not completed on time. The Contractor shall have no claim for damages, for compensation in excess of the Contract Price, or for a delay or extension of the Contract Time based upon conditions found at, or in the vicinity of, the site(s).

### **3. DESIGNATED REPRESENTATIVES**

The Contractor shall designate in writing a person to act as its designated representative with respect to the Work to be performed under this Agreement. Such person shall have complete authority to transmit and receive instructions and information, interpret and define the Contractor's policies and decisions with respect to the Work governed by this Contract. The Village's Building Maintenance Superintendent shall have complete authority to transmit and receive instructions and information, interpret and define the Village's policies and decisions with respect to the Work governed by this Contract, or such other person as designated in writing by the Village Manager.

### **4. TERM OF CONTRACT**

The Contractor shall perform the Work pursuant to this Contract beginning on the effective date as defined herein and ending on December 31<sup>st</sup>, 2022 or on the date that the Work is completed as determined by the Village. The Contractor shall invoice the Village for the Work provided pursuant to this Contract the rates set forth in its Proposal.

### **5. PAYMENT SCHEDULE**

The Contractor shall, as a condition precedent to its right to receive any payment, submit to the Village an application for payment and such receipts, vouchers, and other documents as may be necessary to establish the Contractor's payment for all labor and material and the absence of any interest whether in the nature of a lien or otherwise of any party in any property, work, or fund with respect to the Work performed hereunder. Such documents shall include, where relevant, the following forms, copies of which are attached hereto:

- (i) Contractor's sworn statement;
- (ii) Contractor's partial or final waiver of lien;
- (iii) Subcontractor's sworn statement(s); and
- (iv) Subcontractor's partial or final waiver of lien.

Payment by the Village shall be conditioned upon an inspection by the Village of the



work completed and submission of required waivers by the Contractor. Payment by the Village shall in no way constitute a waiver of, or relieve the Contractor from, any defects in the work. All payments shall be made in accordance with the Illinois Local Government Prompt Payment Act, 50 ILCS 505/1 *et seq.* Final payment for any Work performed by the Contractor pursuant to an invoice by the Contractor shall be made by the Village to the Contractor when the Contractor has fully performed the work and the work has been approved by the Village and submission of required waivers and paperwork by Contractor. Approval of the work and issuance of the final payment by the Village shall not constitute a waiver of, or release the Contractor from, any defects in the work.

The Village shall have the right to withhold from any payment due hereunder such amount as may reasonably appear necessary to compensate the Village for any actual or prospective loss due to Work which is defective or does not conform to the Contract Documents; damage for which the Contractor is liable hereunder; liens or claims of liens; claims of third parties, subcontractors, or material men; or any failure of the Contractor to perform any of its obligations under this Contract. The Village may apply any money withheld or due Contractor hereunder to reimburse itself for any and all costs, expenses, losses, damages, liabilities, suits, judgments, awards, and attorney's fees incurred, suffered, or sustained by the Village and chargeable to the Contractor.

## **6. TERMINATION**

The Village may terminate this Contract for cause, which includes but is not necessarily limited to, the Contractor's failure to perform the work pursuant to this Contract. The Village shall provide the Contractor with five (5) days' written notice of a termination for cause pursuant to the provisions of Section 12 below. The Village may also terminate this Contract when it determines the same to be in its best interests by giving fourteen (14) days' written notice to the Contractor pursuant to the provisions of Section 12 below. In such event, the Village shall pay to the Contractor all amounts due for the work performed up to the date of termination.

## **7. COMPLIANCE WITH APPLICABLE LAWS**

The Contractor shall comply with all applicable laws, regulations, and rules promulgated by any federal, state, county, municipal and/or other governmental unit or regulatory body now in effect during the performance of the work. By way of example only and not as a limitation, the following are included within the scope of the laws, regulations and rules with which the Contractor must comply: all forms of Workers Compensation Laws, all terms of the equal employment opportunity rules and regulations of the Illinois Department of Human Rights, statutes relating to contracts let by units of government, and all applicable civil rights and anti-discrimination laws and regulations.

## **8. INDEMNIFICATION**

To the fullest extent permitted by law, the Contractor shall waive any right of



contribution against the Village and shall indemnify and hold harmless the Village and its officers, officials, employees, volunteers and agents from and against all claims, damages, losses and expenses, including, but not limited to, legal fees (attorney's and paralegal's fees, expert fees and court costs) arising out of or resulting from the performance of the Contractor's work, provided that any such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or injury to or destruction of property, other than the work itself, including the loss of use resulting therefrom, or is attributable to misuse or improper use of trademark or copyright-protected material or otherwise protected intellectual property, to the extent it is caused in whole or in part by any wrongful or negligent act or omission of the Contractor, any subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable. Such obligation shall not be construed to negate, abridge or otherwise reduce any other right to indemnity which the Village would otherwise have. The Contractor shall similarly protect, indemnify and hold and save harmless, the Village, its officers, officials, employees, volunteers and agents against and from any and all claims, costs, causes, actions and expenses, including, but not limited to, legal fees incurred by reason of the Contractor's breach of any of its obligations under, or the Contractor's default of, any provisions of this Contract. The indemnification obligations under this Section shall not be limited in any way by any limitation on the amount or type of damages, compensation, or benefits payable by or for the Contractor or any subcontractor under Workers' Compensation or Disability Benefit Acts or Employee Benefit Acts.

## 9. **INSURANCE**

The Contractor shall, at the Contractor's expense, secure and maintain in effect throughout the duration of this Contract, insurance of the following kinds and limits set forth in this Section. The Contractor shall furnish "Certificates of Insurance" to the Village before beginning Work on the Project pursuant to this Contract. All insurance policies shall be written with insurance companies licensed to do business in the State of Illinois and having a rating of at least A:VII according to the latest edition of the Best's Key Rating Guide; and shall include a provision preventing cancellation of the insurance policy unless thirty (30) days prior written notice is given to the Village. This provision shall also be stated on each Certificate of Insurance: "Should any of the above described policies be canceled before the expiration date, the issuing company shall mail fifteen thirty (30) days written notice to the certificate holder named to the left."

The limits of liability for the insurance required shall provide coverage for not less than the following amounts, or greater where required by law:

### (A) **Commercial General Liability:**

- i. Coverage to include Broad Form Property Damage, Contractual and Personal Injury.
- ii. Limits:
 

General Aggregate	\$ 2,000,000.00
Each Occurrence	\$ 1,000,000.00



- Personal Injury \$ 1,000,000.00
- iii. Coverage for all claims arising out of the Contractor's operations or premises and anyone directly or indirectly employed by the Contractor.

**(B) Workers' Compensation:**

- i. Workers' Compensation insurance shall be provided in accordance with the provisions of the laws of the State of Illinois, including occupational disease provisions, for all employees who perform the Work pursuant to this Contract, and if work is subcontracted pursuant to the provisions of this Contract, the Contractor shall require each subcontractor similarly to provide workers' compensation insurance. In case employees engaged in hazardous work under this Contract are not protected under the Workers' Compensation Act, the Contractor shall provide, and shall cause each subcontractor to provide, adequate and suitable insurance for the protection of employees not otherwise provided.

**(C) Comprehensive Automobile Liability:**

- i. Comprehensive Automobile Liability coverage shall include all owned, hired, non-owned vehicles, and/or trailers and other equipment required to be licensed, covering personal injury, bodily injury and property damage.

- ii. Limits:  
Combined Single Limit \$1,000,000.00

**(D) Umbrella:**

- i. Limits:  
Each Occurrence/Aggregate \$ 5,000,000.00

(E) The Village, its officers, employees, agents and volunteers shall be named as additional insureds on all insurance policies set forth herein except Workers' Compensation. The Contractor shall be responsible for the payment of any deductibles for said insurance policies. The coverage shall contain no special limitations on the scope of protection afforded to the Village, its officers, employees, agents, and volunteers.

(F) The Contractor understands and agrees that any insurance protection required by this Contract or otherwise provided by the Contractor, shall in no way limit the responsibility to indemnify, keep and save harmless, and defend the Village, its officers, employees, agents and volunteers as herein provided.

**10. GUARANTY**

The Contractor warrants and guarantees that its Work provided for the Project to be performed under this Agreement, and all workmanship, materials, equipment, and supplies performed, furnished, used, or installed under this Contract, shall be free from



defects and flaws in workmanship or design; shall strictly conform to the requirements of this Contract; and shall be fit and sufficient for the purposes expressed in, or reasonably inferred from, this Contract. The Contractor further warrants and guarantees that the strength of all parts of all manufactured materials, equipment, and supplies shall be adequate and as specified and that the performance requirements of this Contract shall be fulfilled.

The Contractor shall, at no expense to the Village, correct any failure to fulfill the above guaranty that may appear at any time. In any event, the guaranty herein expressed shall not be sole and exclusive, and is additional to any other guaranty or warranty expressed or implied.

#### **11. AFFIDAVIT OR CERTIFICATE**

The Contractor shall furnish any affidavit or certificate in connection with the work covered by this Contract as required by law.

#### **12. NOTICES**

Any notice required to be given by this Contract shall be deemed sufficient if made in writing and sent by certified mail, return receipt requested, or personal service, or by facsimile transmission to the persons and addresses indicated below or to such addresses and persons as either party hereto shall notify the other party of in writing pursuant to the provisions of this Section:

##### **To the Village:**

Village Manager  
Village of Oak Park  
123 Madison Street  
Oak Park, Illinois 60302-4272  
Email: [villagemanger@oak-park.us](mailto:villagemanger@oak-park.us)  
Facsimile: (708) 358-5101

##### **To the Contractor:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Email: \_\_\_\_\_  
Facsimile: \_\_\_\_\_

Mailing of such notice as and when above provided shall be equivalent to personal notice and shall be deemed to have been given at the time of mailing.

Notice of facsimile transmission shall be effective as of date and time of facsimile transmission, provided that the notice transmitted shall be sent on business days during business hours (9:00 a.m. to 5:00 p.m. Chicago time). In the event facsimile notice transmitted during non-business hours, the effective date and time of notice is the first hour of the first business day after transmission.



**13. AUTHORITY TO EXECUTE**

The individuals executing this Contract on behalf of the Contractor and the Village represent that they have the legal power, right, and actual authority to bind their respective parties to the terms and conditions of this Contract.

**14. EFFECTIVE DATE**

The effective date of this Contract reflected above and below shall be the date that the Village Manager executes this Contract behalf of the Village.

**15. ENTIRE CONTRACT; APPROVAL OF SUBCONTRACTORS**

This Contract, including the documents incorporated by reference herein, sets forth the entire Contract of the parties with respect to the accomplishment of the Work. No right or interest in this Contract shall be assigned, in whole or in part, by either party without the prior written consent of the other party. The Village reserves the right to approve the use of subcontractors to complete any portion of the Work and to approve any applicable contract between the Contractor and a proposed subcontractor to perform any of the Work. This Contract shall be binding upon the parties and upon their respective heirs, executors, administrators, personal representatives, successors, and assigns, except as herein provided.

**16. INDEPENDENT CONTRACTOR**

The Contractor shall have the full control of the ways and means of performing the work referred to above and that the Contractor and its employees, representatives or subcontractors are not employees of the Village, it being specifically agreed that the Contractor bears the relationship of an independent contractor to the Village. The Contractor shall solely be responsible for the payment of all salaries, benefits and costs of supplying personnel for the Work.

**17. CONTRACT BOND**

The Contractor, before commencing the work on the Project, shall furnish a Contract Bond. The Contract Bond shall be in an amount equal to 100% of the full amount of the Contract Sum as security for the faithful performance of its obligations pursuant to the Contract Documents and as security for the payment of all persons performing labor and furnishing materials in connection with the Contract Documents. Such bond shall be on standard AIA Documents, shall be issued by a surety satisfactory to the Village, and shall name the Village as a primary co-obligee. The Contract Bond shall become a part of the Contract Documents. The failure of Contractor to supply the required Contract Bond within ten (10) days after the Notice of Award or within such extended period as the Village may grant if the Contract Bond does not meet its approval shall constitute a default, and the Village may either award the Contract to the next lowest responsible proposer or re-advertise for proposals. A charge against the defaulting Contractor may be made for the difference between the amount of the



Contractor's Proposal and the amount for which a contract for the work is subsequently executed, irrespective of whether the amount thus due exceeds the amount of the proposal guarantee.

**18. GOVERNING LAW AND VENUE**

This Contract shall be governed by the laws of the State of Illinois both as to interpretation and performance. Venue for any action pursuant to this Contract shall be in the Circuit Court of Cook County, Illinois.

**19. AMENDMENTS AND MODIFICATIONS**

This Contract may be modified or amended from time-to-time provided, however, that no such amendment or modification shall be effective unless reduced to writing and duly authorized and signed by the authorized representative of the Village and the authorized representative of the Contractor.

**20. NON-WAIVER OF RIGHTS**

No failure of either party to exercise any power given to it hereunder or to insist upon strict compliance by the other party with its obligations hereunder, and no custom or practice of the parties at variance with the terms hereof, nor any payment under this Contract shall constitute a waiver of either party's right to demand exact compliance with the terms hereof.

**21. CONFLICT**

In case of a conflict between any provision(s) of the Village's Request for Proposals or the Contractor's Proposal and this Contract, this Contract and the Village's Request for Proposals shall control to the extent of such conflict.

**22. HEADINGS AND TITLES**

The headings and titles provided in this Contract are for convenience only and shall not be deemed a part of this Contract.

**23. COOPERATION OF THE PARTIES**

The Village and the Contractor shall cooperate in the provision of the Work to be provided by Contractor pursuant to this Contract and in compliance with applicable laws, including, but not limited to, the Illinois Freedom of Information Act, 5 ILCS 140/1 et seq. ("FOIA"), and the provision of any documents and information pursuant to a FOIA request. The Contractor shall provide any and all documents to the Village pursuant to a FOIA request at no cost to the Village.



## **24. COUNTERPARTS; FACSIMILE OR PDF SIGNATURES**

This Contract may be executed in counterparts, each of which shall be considered an original and together shall be one and the same Contract. A facsimile or pdf copy of this Agreement and any signature(s) thereon will be considered for all purposes as an original.

## **25. CERTIFIED PAYROLL**

Contractor shall be solely responsible to maintain accurate records reflecting its payroll for its employees who perform any of the Work for the Village pursuant to this Contract and shall submit certified payroll records to the Village's Director of Public Works at any time during the term of this Contract. Contractor shall provide said certified payroll records within seven (7) days upon the request of the Director of Public Works.

## **26. PREVAILING WAGE**

Contractor and any applicable subcontractor shall pay prevailing wages as established by the Illinois Department of Labor and determined by the Village for each craft or type of work needed to execute the contract in accordance with the Illinois Prevailing Wage Act, 820 ILCS 130/0.01 *et seq.* ("Act"). Contractor shall prominently post the current schedule of prevailing wages at the Project site(s) and shall notify immediately in writing all of its subcontractors of all changes in the schedule of prevailing wages. Any increases in costs to Contractor due to changes in the prevailing rate of wage during the terms of any Contract shall be at the sole expense of Contractor and not at the expense of the Village, and shall not result in an increase to the Contract Price. Contractor shall be solely responsible to maintain accurate records as required by the Act and shall submit certified payroll records to the Village evidencing its compliance with the Act on no less than a monthly basis as required by the Act. Contractor shall be solely liable for paying the difference between prevailing wages and any wages actually received by laborers, workmen and/or mechanics engaged in the Work for the Project.

Contractor shall indemnify, hold harmless, and defend the Village, its officers, officials, employees, agents and volunteers ("Indemnified Parties") against all regulatory actions, complaints, damages, claims, suits, liabilities, liens, judgments, costs and expenses, including reasonable attorney's fees, which may in any way arise from or accrue against the Indemnified Parties as a consequence of noncompliance with the Act or which may in any way result therefrom, including a complaint by the Illinois Department of Labor under Section 4(a-3) of the Act, 820 ILCS 130/4(a-3) that any or all of the Indemnified Parties violated the Act by failing to give proper notice to the Grantee or any other party performing work on the Public Improvements that not less than the prevailing rate of wages shall be paid to all laborers, workers and mechanics performing Work on the Project, including interest, penalties or fines under Section 4(a-3). The indemnification obligations of this section on the part of Contractor shall survive the termination or expiration of this Agreement. In any such claim, complaint or action against the Indemnified Parties, Contractor shall, at its own expense, appear, defend and pay all



charges of reasonable attorney's fees and all reasonable costs and other reasonable expenses arising therefrom or incurred in connection therewith, and, if any judgment or award shall be rendered against the Indemnified Parties in any such action, Contractor shall at its own expense, satisfy and discharge such judgment or award.

**[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK -  
SIGNATURE PAGE FOLLOWS]**



**IN WITNESS WHEREOF**, the parties hereto have caused this Contract to be signed by their duly authorized representatives on the days and dates set forth below.

**VILLAGE OF OAK PARK**

**CONTRACTOR**

\_\_\_\_\_  
By:  
Its: Village Manager

Date: \_\_\_\_\_, 2022

**ATTEST**

\_\_\_\_\_  
By:  
Its: Village Clerk

Date: \_\_\_\_\_, 2022

\_\_\_\_\_  
By:  
Its:

Date: \_\_\_\_\_, 2022

**ATTEST**

\_\_\_\_\_  
By:  
Its:

Date: \_\_\_\_\_, 2022