



Application for Public Hearing **SPECIAL USE PERMITS**

YOU MUST PROVIDE THE FOLLOWING INFORMATION: IF ADDITIONAL SPACE IS NEEDED, ATTACH EXTRA PAGES TO THE PETITION.

Name of Business (If applicable): Oak Park Montessori School & Day Care

Address/Location of Property in Question: 941 Garfield Ave., Oak Park

Property Identification Number(s)(PIN): _____

Name of Property Owner(s): G&H Building LLC

Address of Property Owner(s): 188 W. Industrial Dr., Suite 422 Elmhurst, IL 60126

E-Mail of Property Owner(s): _____ **Phone:** (630) 941-0135

If Land Trust, name(s) of all beneficial owners: (A Certificate of Trust must be filed.) _____

Name of Applicant(s): _____

Applicant's Address: Luisa Long

Applicant's Phone Number: Office 937 Garfield Ave., Oak Park E-Mail opmshome@gmail.com

Other: _____

Project Contact: (if Different than Applicant) Christopher Bremer

Contact's Address: 840 Home Ave. Oak Park, IL

Contact's Phone Number: Office (773) 612-9960 E-Mail cbremer@compass-architecture.com

Other: _____

Property Interest of Applicant: ☐ Owner ☐ Legal Representative ☐ Contract Purchaser ☒ Other

(If Other - Describe): Leasor

Existing Zoning: NC **Describe Proposal:** The applicant is requesting a Special Use for a Day Care Center

Build-out. The subject property will be a stand-alone daycare but functionally will be supported by the existing Montessori School (as an accessory daycare) immediately to the east – both operations will be owned by the same individual, Luisa

Long

Size of Parcel (from Plat of Survey): 19,485.13 Square Feet

Adjacent: Zoning Districts

Land Uses

To the North: I-290
To the South: R-4
To the East: NC
To the West: NC

primarily single-family homes
Day Care Center (same Owner)
Mixed-Use across Home Ave.; commercial spaces in other tenant spaces of same property

How the property in question is currently improved?

☐ Residential ☒ Non-Residential ☐ Mixed Use ☐ OTHER: _____

Describe Improvement: currently empty tenants space; previously office for youth baseball/softball

Is the property in question currently in violation of the Zoning Ordinance? Yes ☒ No

If Yes, how? _____

Is the property in question presently subject to a Special Use Permit? ☒ Yes No

If Yes, how? Day Care Center is a Special Use in NC district

If Yes, please provide relevant Ordinance No.'s _____

Is the subject property located within any Historic District? Yes ☒ No

If Yes: ☐ Frank Lloyd Wright ☐ Ridgeland/Oak Park ☐ Gunderson

From what Section(s) of the Zoning Ordinance are you requesting approval / relief?

Article: _____ Section: _____

Article: _____ Section: _____

Article: _____ Section: _____

Explain why, in your opinion, the grant of this request will be in harmony with the neighborhood and not contrary to the intent and purpose of the Zoning Ordinance or Comprehensive Plan;

Oak Park Montessori School operates a 6-week thru 6-year day care at 937 Garfield and, due to extreme demand, wants to
expand next door to offer more child care, a service that is in high-demand in Oak Park. The current Montessori school
operates well and, to our knowledge, hasn't received any complaints from the
neighbors.

I (we) certify that all the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief.

I (we) consent to the entry in or upon the premises described in this application by any authorized official of the Village of Oak Park for the purpose of securing information, posting, maintaining and removing such notices as may be required by law.

Christopher J. Bremer
(Printed Name) Applicant

Christopher J. Bremer
(Signature) Applicant

9/17/19

Date

DOUGLAS E. SMITH
(Printed Name) Owner

Douglas E. Smith
(Signature) Owner

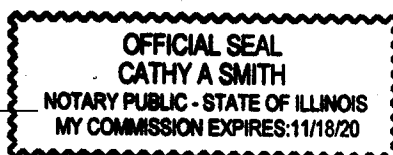
9/17/19
Date

Owner's Signature must be notarized

SUBSCRIBED AND SWORN TO BEFORE ME THIS

17 DAY OF September, 2019

Cathy A. Smith
(Notary Public)





ARCHITECTURE, LLC

840 Home Ave.
OAK PARK, IL 60304
773-612-9960
www.compass-architecture.com

compass

To:	Village of Oak Park	Date:	September 17, 2019
Address:	941 Garfield Ave.	Re:	Special Use Standards

Special Use Standards Response for work at 914 Garfield Ave.:

1. The proposed Special Use will not have a substantial or unduly adverse impact on the neighborhood or endanger the public health, safety, or welfare. There is an existing Montessori School with an accessory daycare facility adjacent to this space that working in harmony with the existing neighborhood and we anticipate the same for the proposed project.
2. The proposed Special Use is compatible with the general land use of adjacent properties and other property within the immediate vicinity. Again, there is an existing Montessori School with accessory daycare facility adjacent and the surrounding neighborhood is primarily residential in nature.
3. The Special Use in the specific location proposed is consistent with the spirit and intent of this Ordinance, adopted land use policies and the Comprehensive Plan. While Day Care facilities are only permitted by right in residential zoning districts, this location is surrounded by residential zoning districts and the General Commercial district is limited in size.
4. The Special Use meets the requirements for such classification in this Ordinance. Please see permit drawings for further information.

Please do not hesitate to contact me with any questions regarding any of the above-listed items.

Christopher J. Bremer

Christopher J. Bremer

Compass Architecture, LLC





June 12, 2019

To Village of Oak Park

RE: 941 Garfield

Drop off- Pick up Procedures for School:

The drop off time in the morning is from 7:00 a.m. to 8:30 a.m. There is a one and a half hour time frame in which 25 or more children will be dropped at the school. This staggered drop off will minimize or omit the traffic issues since not all the children arrive in a concentrated period of time. The drop off and pick up will be at the South side of the 935-39 Garfield St. building through the private lot off of the alley (the lot is under the control of Oak Park Montessori School). Vehicular access to the parking area would be from Clinton Ave turning westbound through the alley, exiting on Home Ave. Clinton Ave and Home Ave are both accessible from the South via Roosevelt, and accessible from the North via Garfield.

The designated areas allowed for drop off and pick up are noted on the attached site plan. The drop off and pick up area will be clearly marked for parents to see. Parents will be informed about the pick up and drop off in all the welcome letters sent to the families.

In the event any parent needs to come inside for any reason, they will use the available parking on the south side of the building as designated "drop off area" on the attached plan. A staff member will be available near the door during these times to ease the process.

Pick up will also be at the South side of the 935-39 Garfield St. building, similar to the drop off procedure stated above, and pick-up generally spans from 3:00 p.m. to 6:00 p.m. thus avoiding most congestion. On nice days children will be outside in the play area making the pick up procedure simple. There will be letters sent to the parents outlining this drop off and pick up procedure. The parents will be very informed about the need to cooperate with the Village in order to limit any disturbance in the area

Teacher Parking:

Teachers who drive to school will park on Garfield St. where we have observed there is ample parking during business hours. In the event of meetings, festivals, shows and all special events, the visitors will use the parking lot of the building as well as the parking available on the streets.

941 Garfield St
Oak Park, IL

ZONING CODE / DISTRICT: GC (GENERAL COMMERCIAL)

	SINGLE POLE SWITCH		JUNCTION BOX - CEILING MOUNTED	
	DIMMER SWITCH		JUNCTION BOX - WALL MOUNTED	
	THREE-WAY SWITCH		EMERGENCY LIGHTING	
	OCCUPANCY SENSOR AT SWITCH		EMERGENCY LIGHTING	
	DUPLEX FLOOR OUTLET		WEATHERPROOF RECEPTACLE	
	DUPLEX RECEPTACLE		WALL-MOUNTED DOWNLIGHT	
	DUPLEX RECEPTACLE, GFI		WALL-MOUNTED DOWNLIGHT, WEATHERPROOF	
	2X4 FLUORESCENT		SMOKE DETECTOR	
	2X2 FLUORESCENT		CARBON MONOXIDE DETECTOR	
	ELECTRICAL PANEL		FIRE ALARM PULL BOX, MANUAL	
	DOWNLIGHT, 6"		EMERGENCY AUDIO-VISUAL ANNUNCIATOR	
	EXHAUST VENT, CEILING		THERMOSTAT	
	EXHAUST VENT - THRU WALL		EXHAUST FAN	
	2X2 SUPPLY AIR DIFFUSER		MECHANICAL SUPPLY	
	2X2 RETURN AIR DIFFUSER		MECHANICAL RETURN / EXHAUST	
	ELECTRICAL CONDUIT			

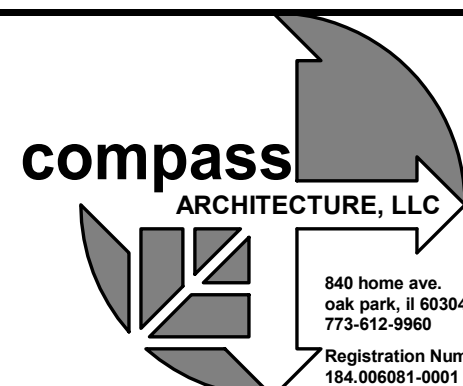
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DWG #	DESCRIPTION	ISSUE FOR PERMIT 09/05/19
0 GENERAL		
A0-0	COVER SHEET	o
A0-1	CODE REQUIREMENTS AND TYPICAL MOUNTING HEIGHTS	o
A0-2	SURVEY	o
A0-3	SITE PLAN AND LIFE SAFETY DIAGRAM	o
1 DEMO		
D1-1	FIRST FLOOR DEMOLITION PLAN	o
2 ARCHITECTURAL		
A1-1	FIRST FLOOR PLAN, SCHEDULES, AND INTERIOR ELEVATIONS	o
A2-1	ELEVATIONS, ASSEMBLIES, AND DOOR SCHEDULE	o
4 MECHANICAL		
M1-1	FIRST FLOOR AND ROOF MECHANICAL PLAN AND NOTES	o
M1-2	MECHANICAL SCHEDULES AND DIAGRAMS	o
5 PLUMBING		
P1-1	PLUMBING DIAGRAMS, NOTES AND SCHEDULE	o
6 ELECTRICAL		
E1-1	FIRST FLOOR ELECTRICAL PLAN	o


A circular professional seal for Christopher J. Bremer, a Licensed Architect in the State of Illinois. The seal features a double-lined circular border. Between the lines, the words "LICENSED ARCHITECT" are written along the top arc and "STATE OF ILLINOIS" along the bottom arc. In the center of the seal, the name "CHRISTOPHER J. BREMER" is printed in two lines, with the license number "001-019901" printed below it. A dotted circular line separates the central text from the outer border.

CHRISTOPHER J. BREMER
#001-019901
EXPIRES: 11-30-2020
DATE:

COPYRIGHT 2019: COMPASS
ARCHITECTURE, LLC EXPRESSLY
RESERVES ITS COMMON LAW
COPYRIGHT AND OTHER PROPERTY
RIGHTS IN THESE PLANS. THESE PLANS
ARE NOT TO BE REPRODUCED, CHANGED
OR COPIED IN ANY FORM OR MANNER
WHATSOEVER, NOR ARE THEY TO BE
ADAPTED TO ANY OTHER PROJECT
WITHOUT FIRST OBTAINING THE
EXPRESSED WRITTEN PERMISSION AND
CONSENT OF COMPASS ARCHITECTURE,
LLC.
OWNER AND ARCHITECT ASSUME NO
RESPONSIBILITY FOR USE OF INCORRECT
SCALE AS A RESULT OF REPRODUCTION.



EVERY CONTRACTOR AND SUB-CONTRACTOR BY USING THESE PLANS FOR THEIR WORK HEREBY AGREES TO HOLD HARMLESS THE VILLAGE OF OAK PARK, THE OWNER OF RECORD, THE LANDLORD, THE TENANT/LICENSEE, THE ARCHITECT (CHRISTOPHER BREMER) AND ENGINEER, INCLUDING THEIR DUTIES, FROM AND AGAINST ANY LIABILITY, CLAIMS, DAMAGES AND THE COST OF DEFENSE, ARISING OUT OF THE CONTRACTORS' PERFORMANCE OF THE WORK DESCRIBED IN THESE PLANS AND SPECIFICATIONS, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, LANDLORD, TENANT/LICENSEE, ARCHITECT, DESIGNER OR ENGINEER OR THEIR EMPLOYEES, CONSULTANTS AND AGENTS.

			941 Garfield St	COVER SHEET	
1	09-05-19	ISSUE FOR PERMIT	Oak Park, IL		A0-0
No.	DATE	DESCRIPTION			

REQUIRED PLUMBING FIXTURE COUNTS

THE REQUIRED FIXTURE COUNTS FOR THIS POPULATION ARE INDICATED BELOW.

OCCUPANT LOAD:

1 OCCUPANT / 70 GSF

TOTAL OCCUPANT COUNT:

16 (8 MALE, 8 FEMALE)

FIXTURE COUNT CALCULATIONS, ILLINOIS PLUMBING CODE APPENDIX A, SECTION 890.810(b)(1).

REQUIRED FIXTURES	REQUIRED FIXTURES PER PERSON	COMMENTS
WATER CLOSET	1: 1-10 (MALE) 1: 1-10 (FEMALE)	See notes 1 and 2.
LAVATORIES		
SHOWERS	N/R	
DRINKING FOUNTAINS	N/R	See note 3.
SERVICE SINKS	1	

NOTES:

- DAY CARE CENTER OCCUPANCY: 70 GSF / PERSON (IPC SECTION 890.810) IF THERE ARE NO MORE THAN 5 EMPLOYEES WORKING AT ANY ONE TIME, ONE RESTROOM MAY SERVE BOTH SEXES. (IPC SECTION 890.810(b)(1)(A)(ii)).
- BOTTLED DRINKING WATER OR A WATER DISPENSING FAUCET (WATER STATION) MAY BE SUBSTITUTED FOR A DRINKING FOUNTAIN, PROVIDED DRINKING WATER IS ACCESSIBLE TO THE PUBLIC. (IPC SECTION 890, APPENDIX A, FOOTNOTE 4). NOT REQUIRED FOR OCCUPANT LOAD BELOW 100.
-

EGRESS REQUIREMENTS

TRAVEL DISTANCE PER IBC

OCCUPANCY TYPE	WITHOUT SPRINKLER SYSTEM
E	200 FEET

DEAD END CORRIDOR DISTANCE PER

OCCUPANCY TYPE	WITHOUT SPRINKLER SYSTEM
E	20 FEET MAX.

EGRESS WIDTH PER OCCUPANT SERVED PER

OCCUPANCY TYPE	WITHOUT SPRINKLER SYSTEM*
E	0.2 INCHES / OCCUPANT (OTHER EGRESS COMPONENTS THAN STAIRWAYS)

*MINIMUM CORRIDOR WIDTH: 36 INCHES WITH A REQUIRED OCCUPANCY OF 50 OR LESS (PER IBC SECTION 1016.2)

**EMERGENCY POWER SHALL BE PROVIDED FOR MEANS OF EGRESS ILLUMINATION IN ACCORDANCE WITH IBC SECTION 1006.3

PARKING

OCCUPANT LOAD:

1 OCCUPANT / 1,000 GSF

TOTAL FLOOR AREA

1,108 GSF

TOTAL PARKING COUNT:

2

OCCUPANCY

OCCUPANCY TYPE

GROUP E: DAYCARE, AGES 3-6

OCCUPANCY LOAD ALLOWANCE

1 OCCUPANT / 35 NSF

TOTAL FLOOR AREA

695 NSF

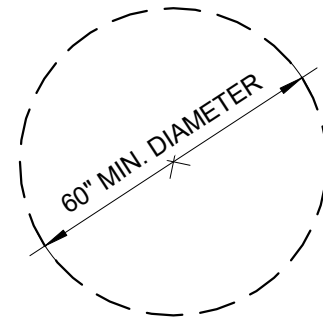
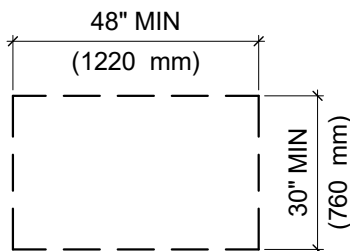
TOTAL OCCUPANT COUNT:

19

ACCESSIBILITY REQUIREMENTS

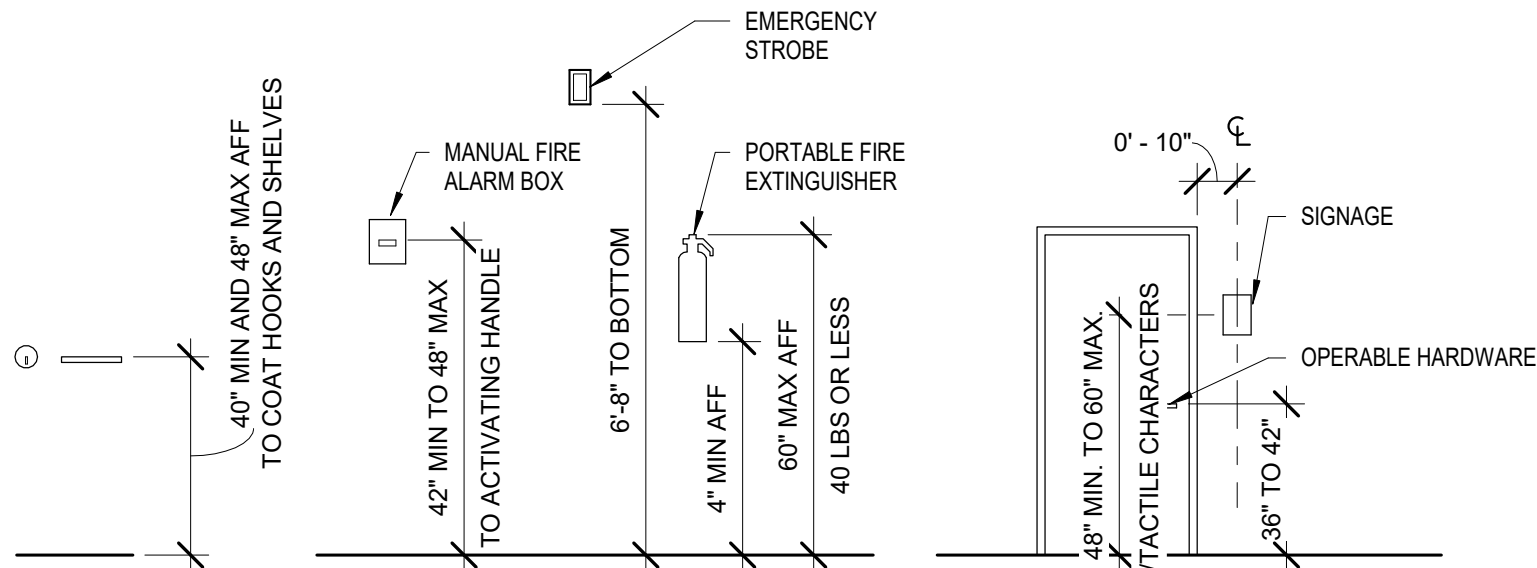
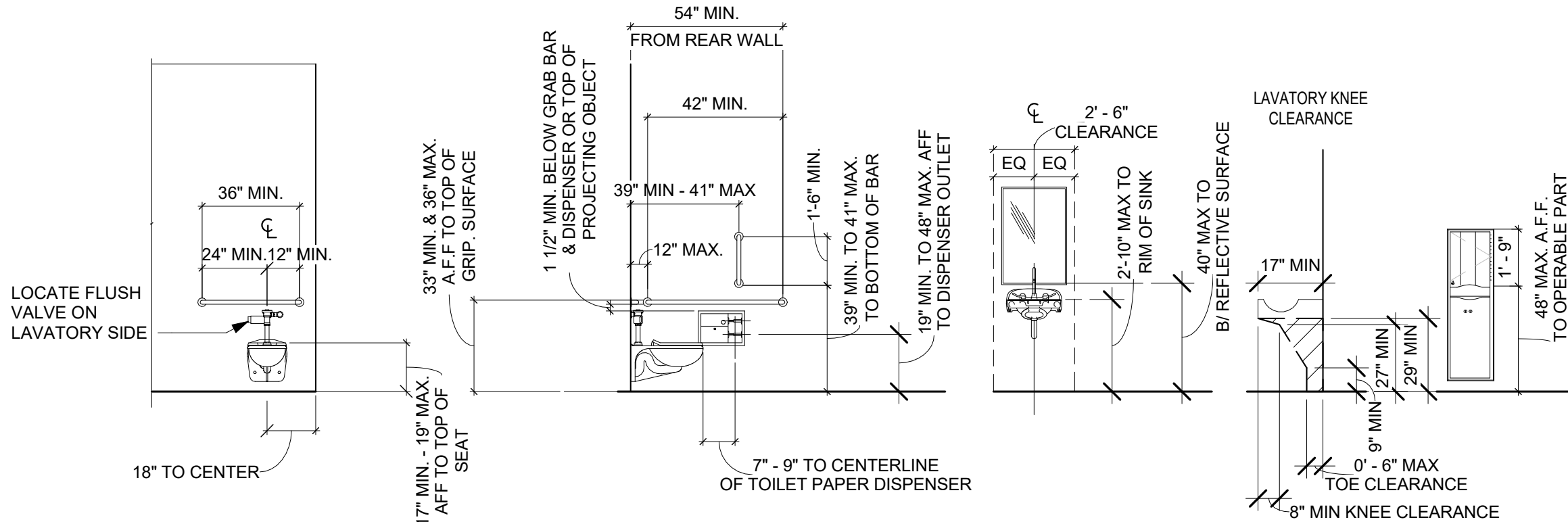
CLEAR FLOOR SPACE: SHALL BE 48 INCHES MINIMUM IN LENGTH AND 30 INCHES MINIMUM IN WIDTH.

CIRCULAR ACCESSIBLE TURNING SPACE. THE TURNING SPACE SHALL BE A CIRCULAR SPACE WITH A 60" (1525 mm) MINIMUM DIAMETER. THE TURNING SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SEC 306.

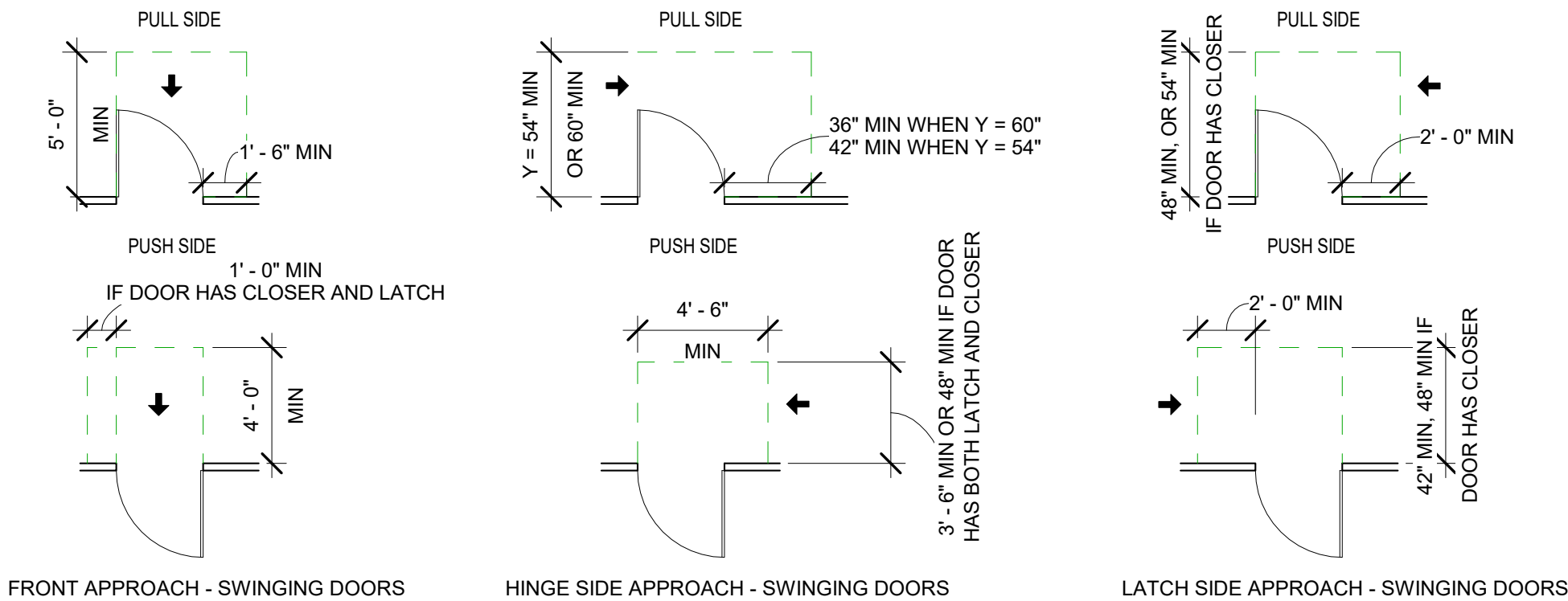


TYPICAL MOUNTING HEIGHTS

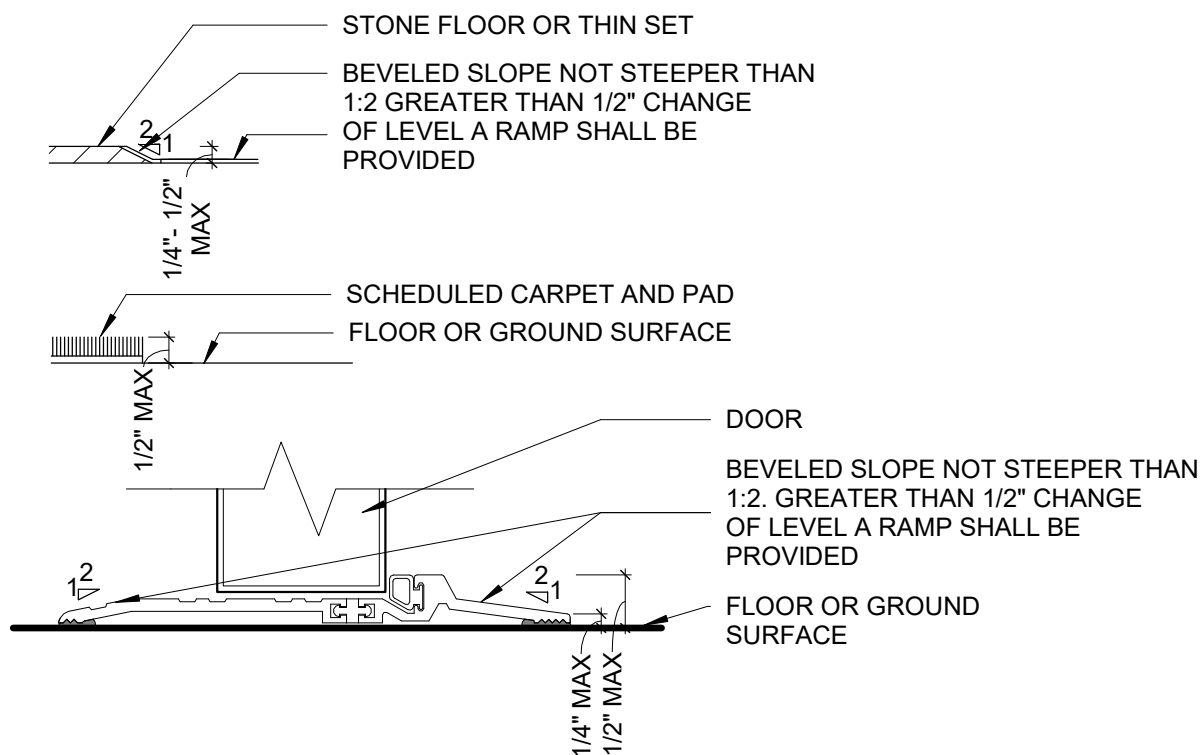
ENVIRONMENTAL CONTROLS AND OPERATION MECHANISMS SHALL BE MOUNTED NO HIGHER THAN 48" AFF



TYPICAL DOOR CLEARANCES - ILLINOIS ACCESSIBILITY CODE



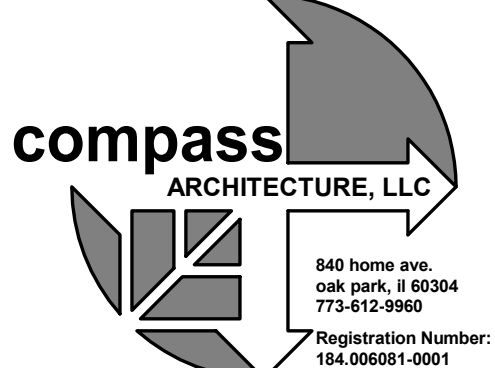
ACCESSIBILITY THRESHOLD REQUIREMENTS



GENERAL NOTES:
1. ALL WORK SHALL COMPLY WITH THE VILLAGE OF OAK PARK BUILDING CODE AND ZONING CODE, LATEST EDITIONS.
2. ALL MATERIALS FURNISHED UNDER THESE DRAWINGS SHALL BE NEW UNLESS NOTED OTHERWISE.
3. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER COMPLETION AND ACCEPTANCE. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT THEIR OWN EXPENSE, ANY DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN SAID PERIOD OF TIME.
4. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ANY EXISTING CONDITIONS PERTAINING TO THE JOB SITE.
5. THE GENERAL CONTRACT AND SUB-CONTRACTORS ARE RESPONSIBLE FOR ANY AND ALL VILLAGE INSPECTIONS.

6. THE GENERAL CONTRACTOR SHALL DISPOSE OF ANY AND ALL DEBRIS RESULTING FROM ANY DEMOLITION AND CONSTRUCTION BEING DONE.
7. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES THAT MAY OCCUR WITHIN THIS SET OF DRAWINGS. THE ARCHITECT WILL BE ALLOWED TO MAKE THE APPROPRIATE ADJUSTMENTS TO RECTIFY THE SITUATION.
8. GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL HAVE THE NECESSARY INSURANCE AND WORKMAN'S COMPENSATION POLICY.
9. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR ACTS AND OMISSIONS OF GENERAL CONTRACTOR.

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USE OF DRAWINGS NOTE:

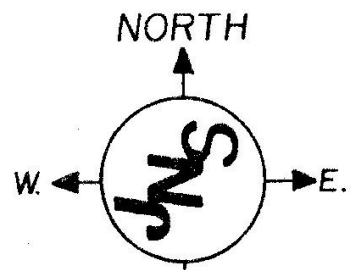
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1	09-05-19	ISSUE FOR PERMIT
No.	DATE	DESCRIPTION

CODE REQUIREMENTS AND TYPICAL MOUNTING HEIGHTS

A0-1

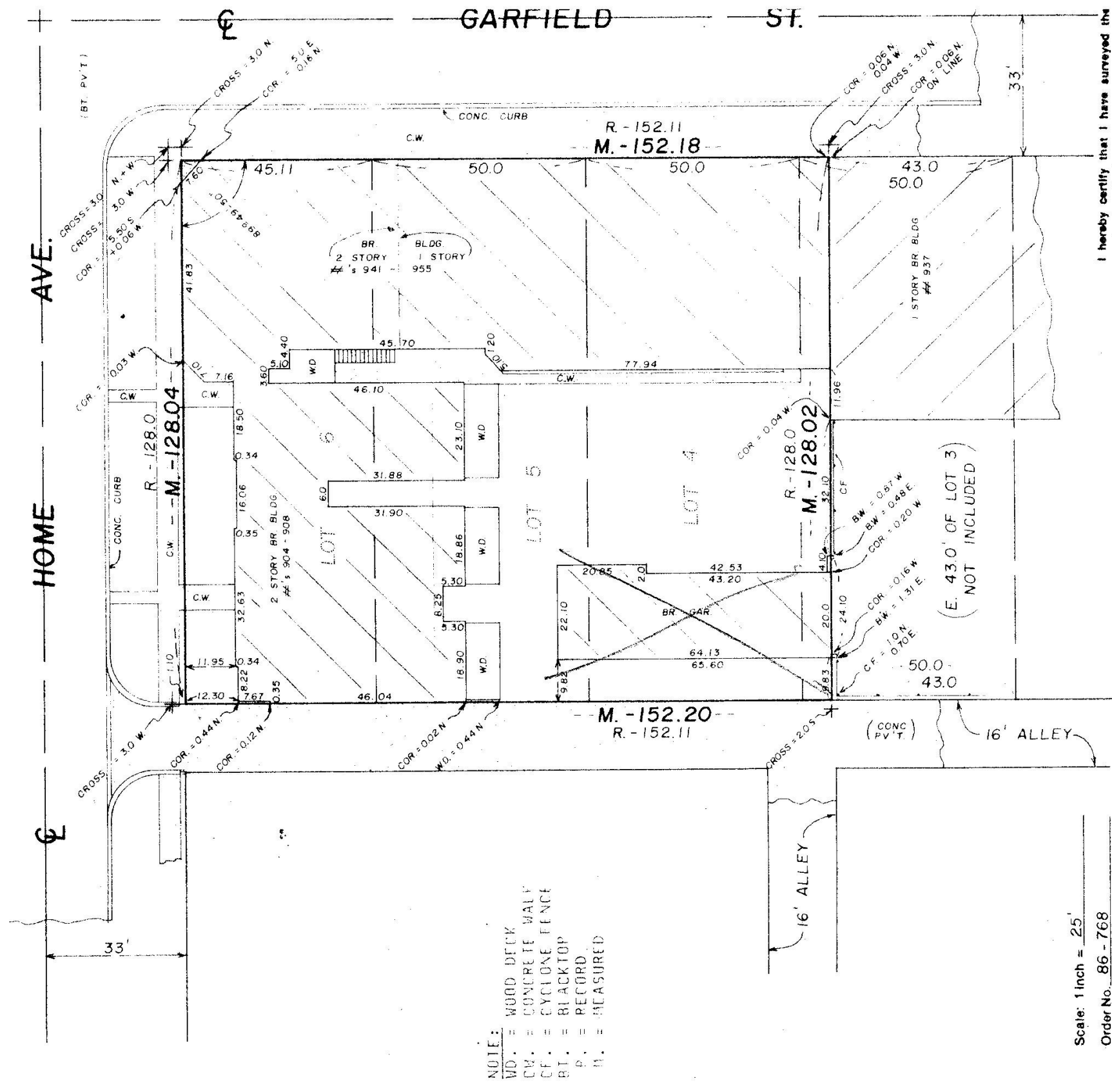
REGISTERED ILLINOIS LAND SURVEYORS
John Nelson
206 W. 69TH ST. DARIEN, ILLINOIS 60559
Res. 312/920-9019



PLAT OF SURVEY

OF LOTS 4, EXCEPT THE EAST 43.0 FEET OF LOT 5, LOT 4, LOT 5 AND LOT 6 IN BLOCK 2 IN WARDEN C. DRYING SECOND ADDITION TO OAK PARK, IN THE SUBDIVISION IN SECTION 19, TOWNSHIP 39 NORTH, RANGE 15, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

CURBLINE ADDRESS: 4001 - 4003 HOME AVE. AND 941 - 955 GARFIELD ST.



I hereby certify that I have surveyed the property described above, and that the plat hereon drawn is a correct representation of said survey, all measurements being corrected to the standard at 62° Fahrenheit.

Darien, Illinois, NOV. 18, 1986
Michael Registered Land Surveyor No. 2374

I hereby certify that I have made a resurvey on _____
and that the location of the _____
is correctly shown on the plat hereon drawn.

CAUTION: Compare the description in this plat with your deed, abstract or certificate of title, also compare all points before building by same, and at once report any difference.

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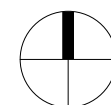
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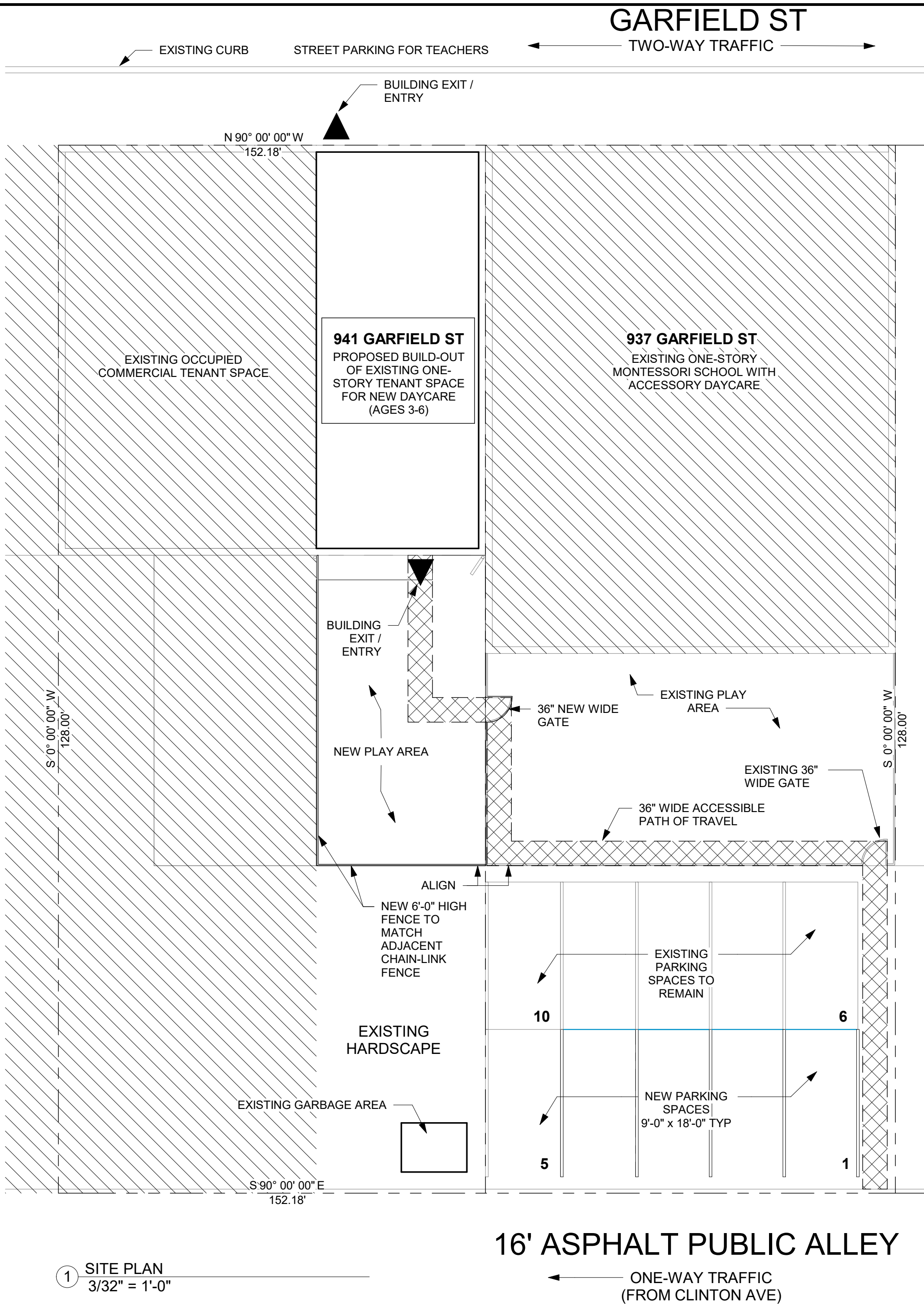
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No.	DATE	DESCRIPTION
1	09-05-19	ISSUE FOR PERMIT

SURVEY



A0-2



1 SITE PLAN
3/32" = 1'-0"

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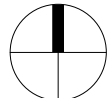
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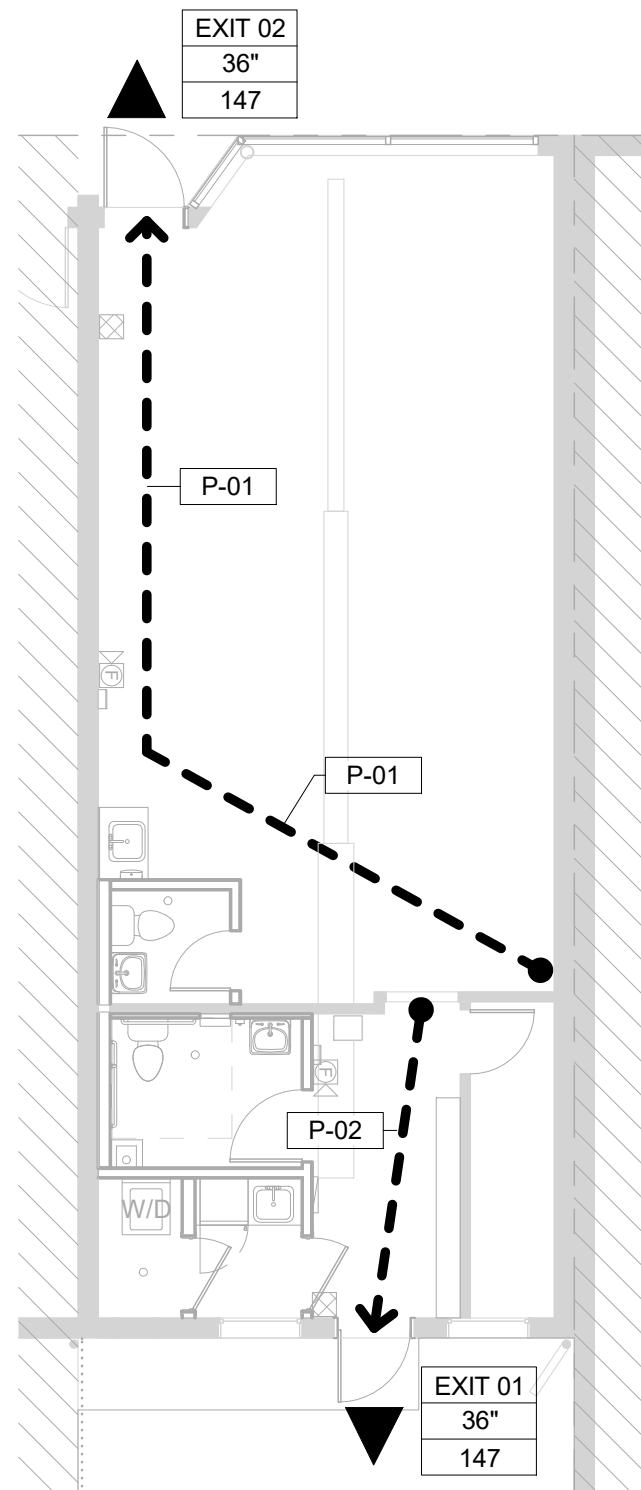
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SITE PLAN AND LIFE SAFETY DIAGRAM



A0-3

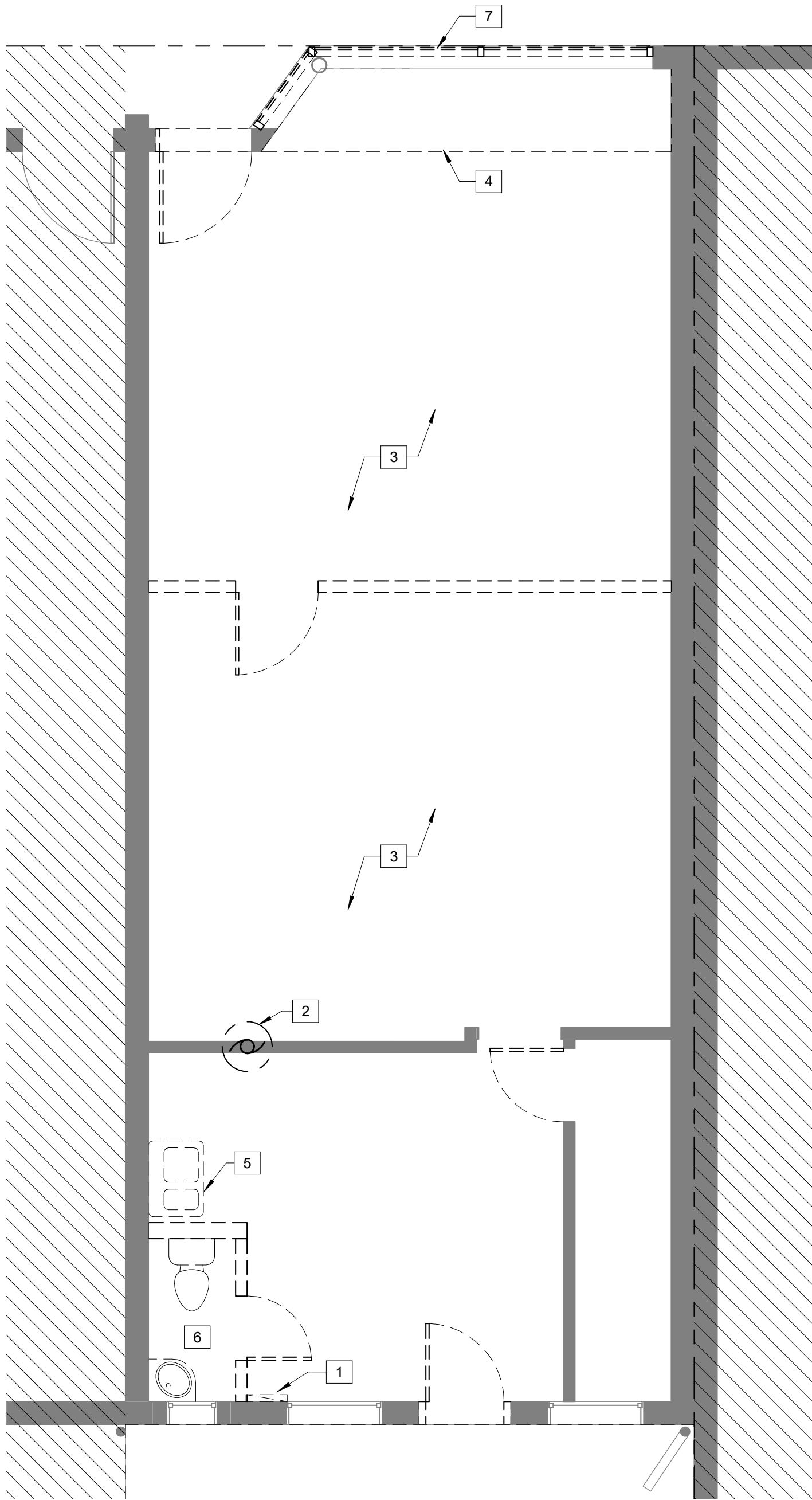
NOTE:
1. EXISTING FIRE HYDRANTS ARE LOCATED ON THE SE CORNER OF GARFIELD ST AND CLINTON AVE AND SE CORNER OF GARFIELD ST AND HOME AVE



NOTE:
SEE A1-SERIES PLANS FOR LOCATIONS OF FIRE ALARM PULL STATION, FIRE ALARM BELL, FIRE EXTINGUISHERS, EXIT SIGNS, AND A/V EMERGENCY ANNUNCIATORS

TRAVEL DISTANCE SCHEDULE	
PATH	DISTANCE
P-01	40' - 10"
P-02	13' - 5"

2 FIRST FLOOR PLAN - LIFE SAFETY DIAGRAM
1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

- GENERAL NOTES:**
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 6. ALL EXTERIOR FINISHES ON EXTERIOR WALLS ARE TO REMAIN UNLESS NOTED OTHERWISE.
 7. WHERE INDICATED, REMOVE SHALL MEAN THE DEMOLITION OF SAID SYSTEM IN ITS ENTIRETY, INCLUDING REMOVAL AND DISPOSAL OF MATERIALS, UNLESS NOTED OTHERWISE.
 8. WHERE REMOVAL OCCURS, PREPARE AREA FOR NEW WORK AS NECESSARY.
 9. COORDINATE REMOVAL OF BOTH EXPOSED AND CONCEALED ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS FOR NEW WORK. NO EQUIPMENT OF ANY KIND IS TO BE ABANDONED IN PLACE.
 10. REMOVE ALL EXISTING FLOOR FINISHES AND PREPARE FLOOR FOR NEW FINISHES.
 11. REMOVE ALL EXISTING INTERIOR LIGHT FIXTURES, SWITCH PLATES, RECEPTACLE COVERS, AND ASSOCIATED APPURTENANCES.

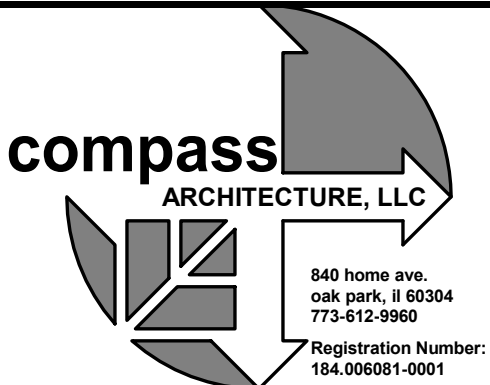
SHEET NOTES

1	REMOVE ELECTRICAL PANEL IN ENTIRETY. SEE NEW ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.
2	REMOVE WALL-MOUNTED FAN.
3	EXISTING CEILING-MOUNTED DUCTWORK, SUPPLY & RETURN REGISTERS TO REMAIN.
4	REMOVE EXISTING BUILT-IN CASEWORK AND BLINDS
5	REMOVE EXISTING SINK BASIN
6	REMOVE EXISTING TOILET ROOM IN ENTIRETY. REMOVE EXISTING WATER HEATER AND SHELVING IN ENTIRETY.
7	REMOVE EXISTING STOREFRONT AND REPLACE "IN-KIND." SEE NEW PLAN AND ELEVATION FOR ADDITIONAL INFORMATION.

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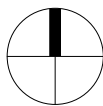
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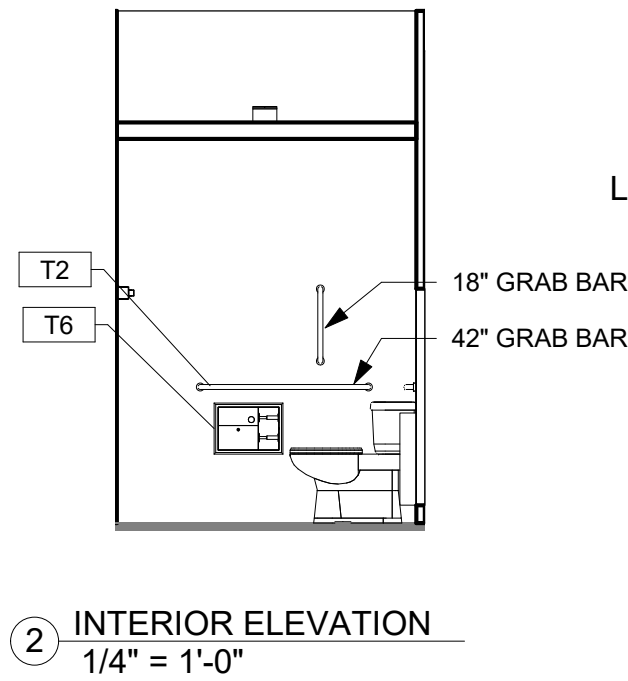
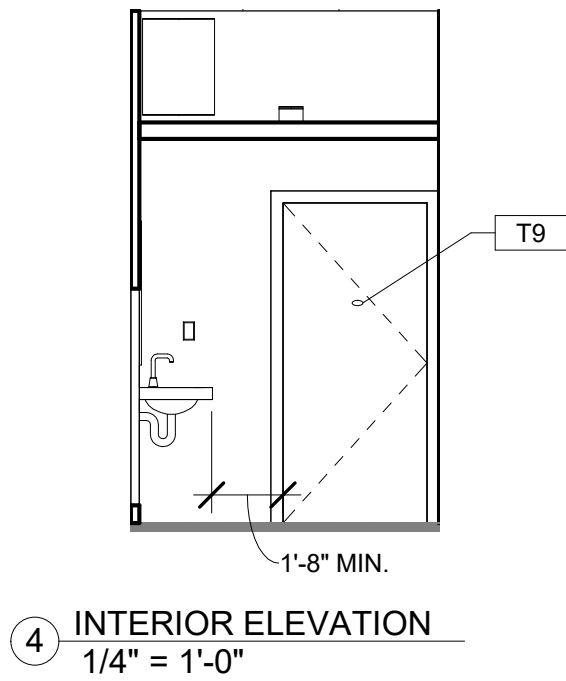
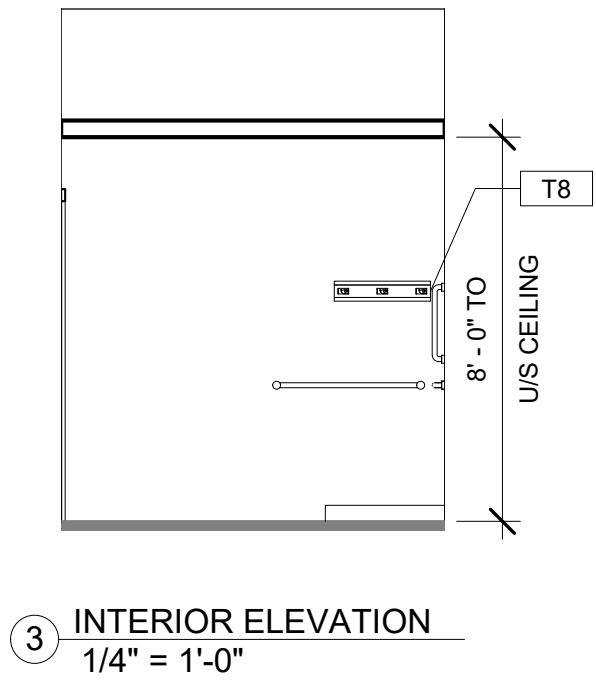
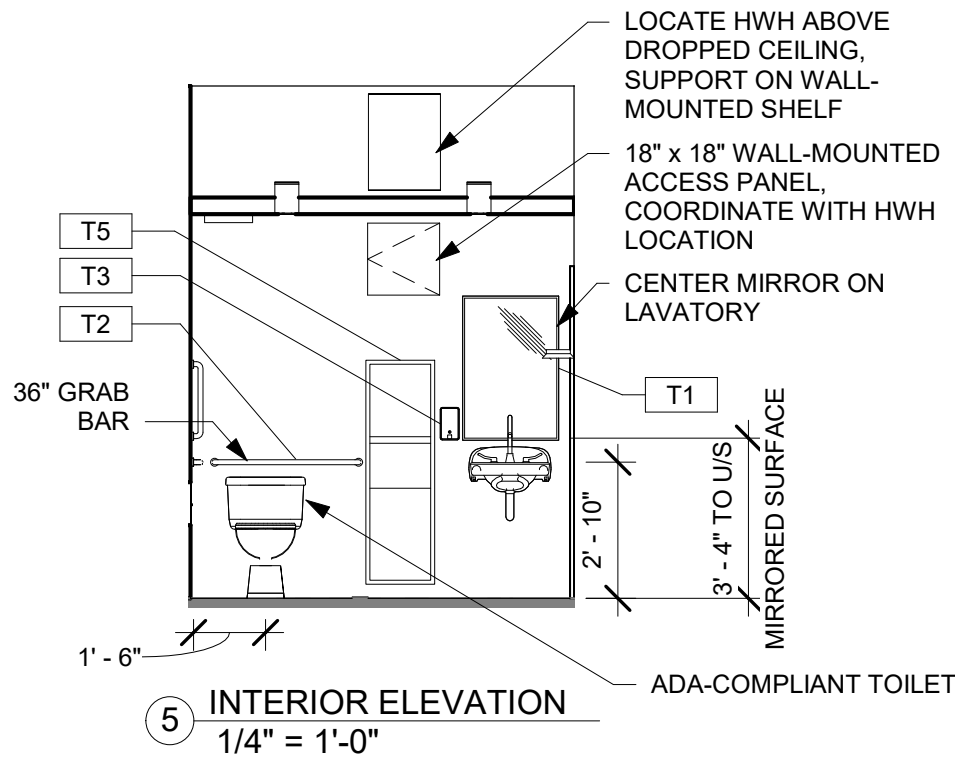
FIRST FLOOR DEMOLITION PLAN



D1-1

ROOM FINISH SCHEDULE						
RM #	NAME	FINISH				COMMENTS
		FLOOR	BASE	WALL	CLG	
101	ENTRY				GYP BD, PAINTED	OWNER TO SELECT ALL CASEWORK, FINISHES, FIXTURES, AND ACCESSORIES
102	WORK ROOM				GYP BD, PAINTED	OWNER TO SELECT ALL CASEWORK, FINISHES, FIXTURES, AND ACCESSORIES
103	LAUNDRY CLOSET				GYP BD, PAINTED	OWNER TO SELECT ALL FIXTURES, FINISHES, AND ACCESSORIES.
104	ADULT TOILET ROOM				GYP BD, PAINTED	OWNER TO SELECT ALL FIXTURES, FINISHES, AND ACCESSORIES.
105	CHILDREN'S TOILET ROOM				GYP BD, PAINTED	PROVIDE DISPENSED SOAP AND DISPENSED PAPER TOWELS. OWNER TO SELECT ALL FIXTURES, FINISHES, AND ACCESSORIES.
106	STORAGE				EXPOSED, PAINTED	EMPLOYEE BELONGINGS TO BE STORED IN THIS LOCATION. OWNER TO SELECT ALL CASEWORK, FINISHES, FIXTURES, AND ACCESSORIES
107	CLASSROOM				GYP BD, PAINTED	OWNER TO SELECT ALL FURNITURE, CASEWORK, FINISHES, FIXTURES, AND ACCESSORIES

ACCESSORIES SCHEDULE				
TAG	MFRER	MDL	DESCRIPTION	COMMENTS
T1			24"W X 36"H MIRROR	ADA COMPLIANT
T2			1 1/2" DIA. GRAB BARS	ADA COMPLIANT
T3			SURFACE MOUNTED SOAP DISPENSER	ADA COMPLIANT
T5			SEMI-RECESSED PAPER TOWEL DISPENSER/TRASH	ADA COMPLIANT
T6			RECESSED SANITARY NAPKIN DISPOSAL AND TOILET PAPER DISPENSER	ADA COMPLIANT
T7			SURFACE MOUNTED PAPER TOWEL DISPENSER	ADA COMPLIANT
T8			SURFACE MOUNTED HEAVY-DUTY MOP RACK	MOUNT DIRECTLY ABOVE MOP SINK
T9			SURFACE MOUNTED CLOTHES HOOK	ADA COMPLIANT
T10			24" LH UNDERCOUNTER REFRIGERATOR	
T11			COMPACT STACKED WASHER AND GAS DRYER	
T12			WATER COOLER AND DISPENSER	ADA COMPLIANT

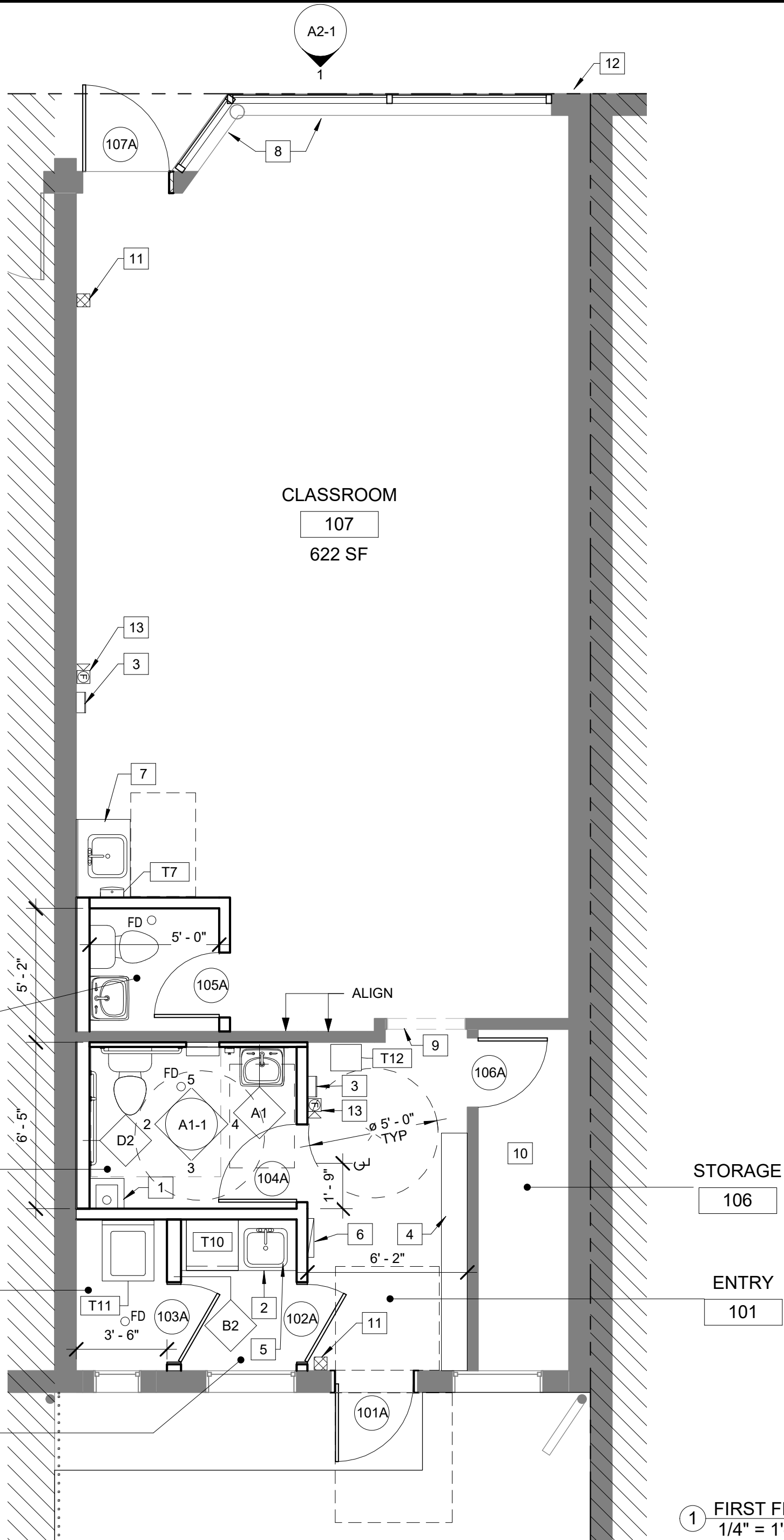


CHILDREN'S TOILET ROOM
105

ADULT TOILET ROOM
104

LAUNDRY CLOSET
103

WORK ROOM
102



GENERAL NOTES:

- WALLS ARE DESIGNATED WITH A TAG WHICH CORRESPONDS TO SHEET A2-1 PROVIDING THE UL # AND FIRE-RATING FOR EACH CONSTRUCTION ASSEMBLY. ALL WALLS ARE TYPE B1 U.N.O.
- DIMENSIONS ARE TO MATERIAL FINISHES, UNO
- VERIFY ALL DOOR ROUGH OPENING DIMENSIONS WITH OWNER SELECTED MANUFACTURER AND ADJUST ACCORDINGLY
- ALL DOOR GLAZING SHALL BE TEMPERED
- PROVIDE BLOCKING AT ALL DOOR AND DECORATIVE TRIM LOCATION. VERIFY WITH OWNER
- VERIFY ALL PLUMBING ROUGH FRAMING DIMENSIONS WITH THE OWNER SELECTED MANUFACTURER AND ADJUST ACCORDINGLY
- PROVIDE FIRE-STOPPING BETWEEN FLOORS.
- INSTALL FIREBLOCKING / DRAFTSTOPPING AT A MAXIMUM OF 10'-0" ON CENTER, HORIZONTAL AND VERTICAL.
- PROVIDE FINISHED END PANELS ON SIDES OF BASE CABINETS AT ALL EXPOSED ENDS INCLUDING AT DISHWASHERS
- ALL SMOKE DETECTORS SHALL BE PERMANENTLY WIRED
- ALL EMERGENCY WARNING ALARMS SHALL BE BOTH AUDIBLE AND VISUAL.
- FLOOR DESIGN LOADS ARE 40PSF LIVE AND 15PSF DEAD; ROOF DESIGN LOADS ARE 30PSF LIVE AND 15PSF DEAD.
- ADA COMPLIANT ACCESSORIES AND ADA COMPLIANT TOILET ROOM FIXTURES ARE TO MEET CODE REQUIREMENTS AS INDICATED ON SHEET A0-1.

GENERAL FINISH NOTES:

- ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS 1 FINISH WITH A FLAME SPREAD RATING OF 0-25
- ALL FLOOR COVERINGS SHALL HAVE A FLAME SPREAD RATING OF 75 OR BETTER.
- ALL FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.

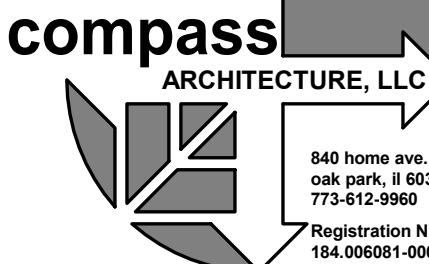
SHEET NOTES

1	FLOOR-MOUNTED UTILITY SINK WITH WALL-MOUNTED HEAVY DUTY MOP RACK ABOVE
2	24" DEEP STAINLESS STEEL COUNTERTOP, 36" AFF
3	WALL-MOUNTED FIRE EXTINGUISHER
4	CUBBIES, OWNER-FURNISHED
5	24" BASE CABINET BELOW SINK WITH 4" TOE KICK
6	ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
7	24" DEEP x 24" WIDE COUNTER WITH BASE CABINET AND SINK WITH BASE CABINET. T/COUNTER 34" MAX. AFF
8	NEW GYP BD AND WALL BASE AT EXPOSED WALL SURFACE
9	EXISTING 36" W x 80" H OPENING TO REMAIN. VERIFY DIMENSIONS IN FIELD.
10	SEE OWNER FOR SHELVING REQUIREMENTS AT EXISTING STORAGE ROOM
11	WALL-MOUNTED MANUAL FIRE ALARM PULL BOX, LOCATED NO MORE THAN 5'-0" FROM THE ENTRANCE TO EACH EXIT
12	WALL-MOUNTED FIRE ALARM BELL, SEE ELEVATION
13	WALL-MOUNTED EMERGENCY AUDIO-VISUAL ANNUNCIATOR, TIE INTO FIRE ALARM SYSTEM

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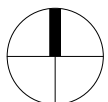


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FIRST FLOOR PLAN, SCHEDULES, AND INTERIOR ELEVATIONS

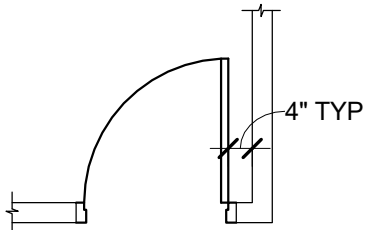


A1-1

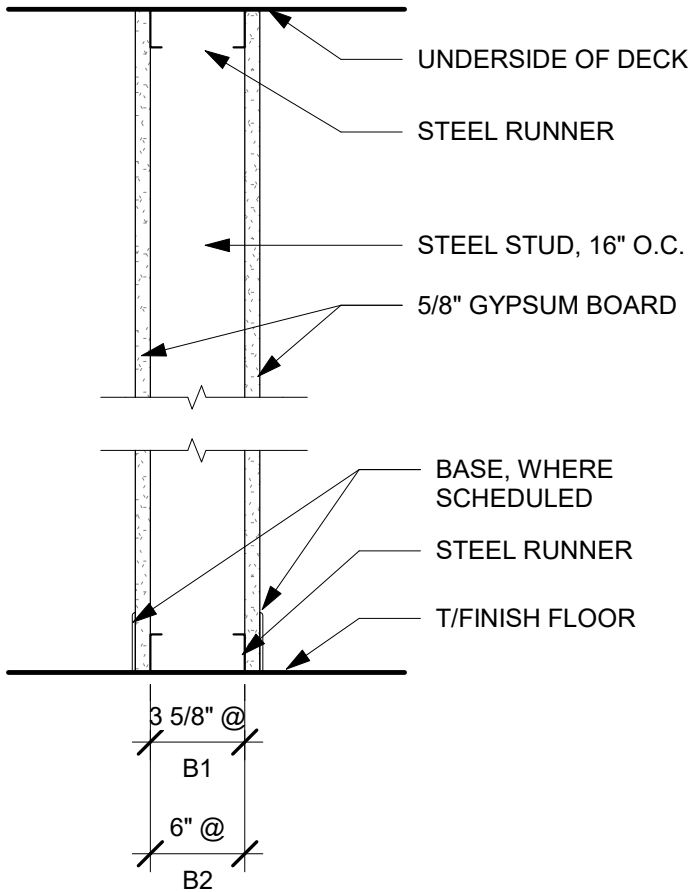
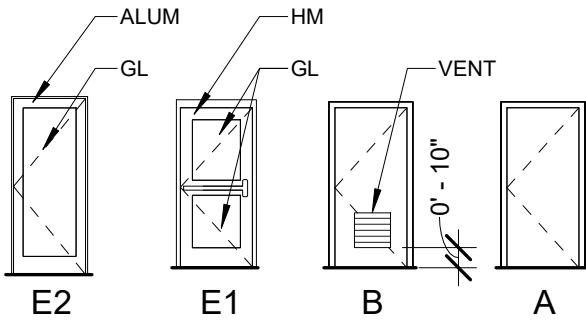
DOOR SCHEDULE											
DOOR #	W	H	THICKNESS	DOOR MATERIAL	FRAME MATERIAL	DOOR TYPE	FIRE RATING	DETAILS			NOTES
								Head	Jamb	Sill	
101A	3' - 0"	6' - 8"	0' - 1 3/8"	HM / GLASS	HM	E1	0				ENTRY SELF-CLOSING DOOR, TEMPERED GLASS, WITH EMERGENCY EXITING DEVICE HARDWARE: VON DUPRIN SERIES 88 WITH ALK ALARM KIT
102A	3' - 0"	6' - 8"	0' - 1 3/8"	HM	WD	A	0				SELF-CLOSING DOOR (PULL-SIDE MOUNT) WITH ALUM. KICK PLATE (PUSH SIDE), PROVIDE 1" UNDERCUT AT DOOR FOR RETURN AIR
103A	3' - 0"	6' - 8"	0' - 1 3/8"	HM	WD	B	0				SELF-CLOSING DOOR (PULL-SIDE MOUNT) WITH ALUM. KICK PLATE (PUSH SIDE), PROVIDE 18" x 18" RETURN AIR STEEL VENT IN DOOR.
104A	3' - 0"	6' - 8"	0' - 1 3/8"	HM	WD	A	0				PRIVACY SELF-CLOSING DOOR (PULL-SIDE MOUNT) WITH ALUM. KICK PLATE (PUSH SIDE)
105A	2' - 6"	6' - 8"	0' - 1 3/8"	HM	WD	A	0				ALUM. KICK PLATE (PUSH SIDE)
106A	2' - 8"	6' - 8"	0' - 1 3/8"	HM	WD	A	0				STOREROOM ALUM. KICK PLATE (PUSH SIDE), PROVIDE 1" UNDERCUT AT DOOR FOR RETURN AIR
107A	3' - 4"	6' - 8"	0' - 1 3/8"	ALUM / GLASS LITE	ALUM	E2	0				ENTRY SELF-CLOSING DOOR, TEMPERED GLASS

- GENERAL NOTES:
- ALL INTERIOR PARTITIONS ARE NON-RATED, 18 GA., 3 5/8" WIDE UNO, DESIGN TO WITHSTAND LOAD OF 5 PSF
 - VERIFY ALL DOOR ROUGH OPENING DIMENSIONS WITH OWNER SELECTED MANUFACTURER AND ADJUST ACCORDINGLY
 - VERIFY ALL DIMENSIONS IN FIELD IN RELATION TO EXISTING CONDITIONS
 - DOOR OPENING FORCE (IAC 2018, 404.2.9)
 - INTERIOR HINGED DOORS AND GATES = 5 LB MAX.
 - EXTERIOR HINGED DOORS AND GATES = 8.5 LB MAX.
 - PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS
 - PROVIDE LEVER HARDWARE AT ALL DOORS LEADING TO ACCESSIBLE ROOMS LESS THAN 48" AFF
 - PROVIDE KNURLED HARDWARE AT ALL DOORS TO HAZARDOUS AREAS (JANITORS CLOSET, ETC)
 - PROVIDE KEYLESS FUNCTION LATCH SET WITH LEVER HANDLE ON ALL TOILET ROOM DOORS

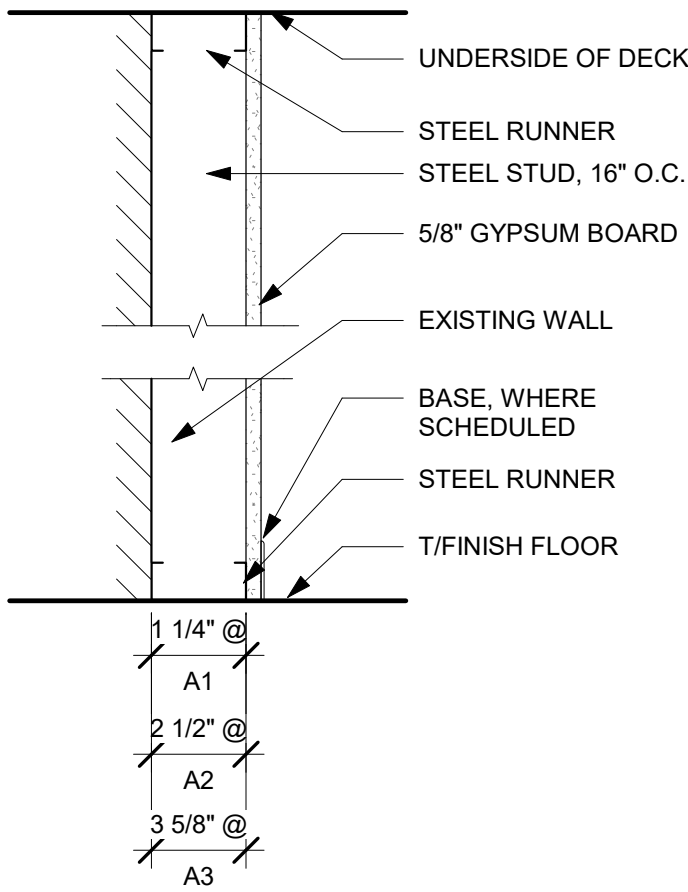
TYPICAL DOOR MOUNTING LOCATION:



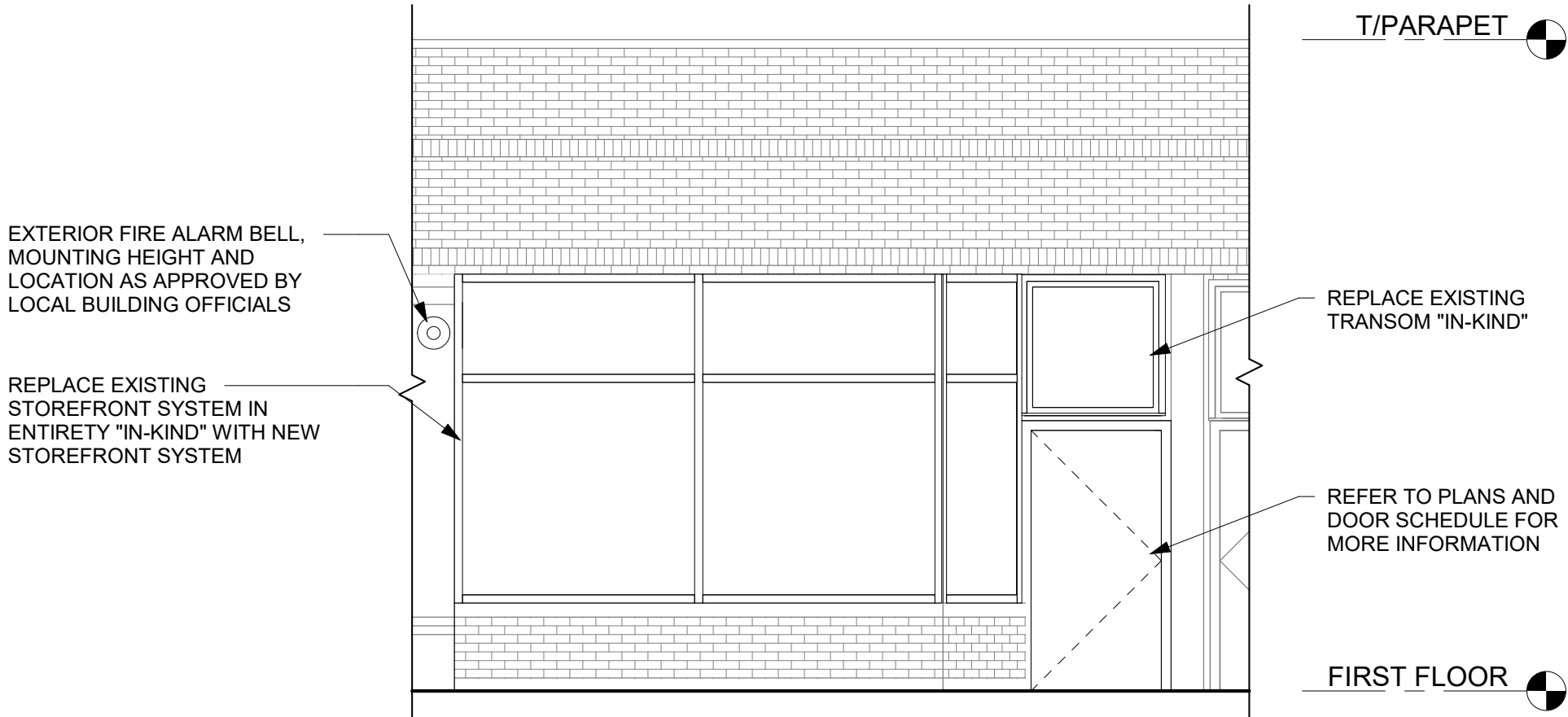
DOOR TYPES:



B TYP. INTERIOR PARTITION, NON-RATED
1 1/2" = 1'-0"



A TYP. INTERIOR FURRED PARTITION, NON-RATED
1 1/2" = 1'-0"

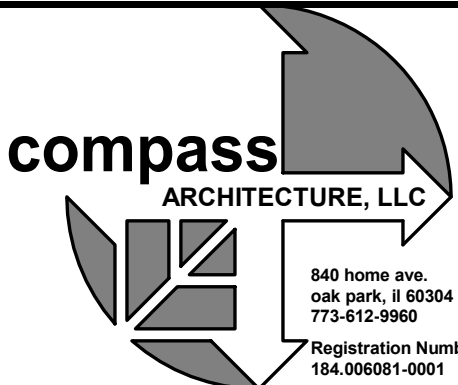


1 NORTH ELEVATION
1/4" = 1'-0"

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ELEVATIONS,
ASSEMBLIES, AND
DOOR SCHEDULE

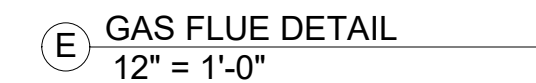
A2-1

M1-1 |

ROOM NAME	AREA (SF)	CODE REQUIRED		SUPPLIED		CODE REQUIRED		CODE REQUIRED		ACTUAL		SYSTEM	SKIN HEAT LOSS	VENT HEAT LOSS	TOTAL HEAT LOSS	TOTAL HEAT INPUT
		GLASS AREA (SF)	VENT AREA (SF)	GLASS AREA (SF)	VENT AREA (SF)	SUPPLY (CFM/SF)	EXHAUST (CFM/SF)	SUPPLY (CFM/SF)	EXHAUST (CFM/SF)	SUPPLY (CFM/SF)	EXHAUST (CFM/SF)					
CLASSROOM / ENTRY / STORAGE	748	57	---	88.2	---	1.5	0.75	1,122	561	1200	600	RTU-1/EXH-1	14,010	10,832	26,172	52,336
CHILDREN'S TOILET RM	24	---	---	---	---	0	2.0	NR	48	50	100	TEF-1	2,460	1,968	4,428	7,085
ADULT TOILET RM	50	---	---	---	---	0	2.0	NR	100	50	100	TEF-1	2,460	1,968	4,428	7,085
WORK RM / LAUNDRY	47	---	---	---	---	0	2.0	NR	94	50	100	RTU-1/EXH-1				
	869							1,122	675	1350	900	TOTALS:	41,618	39,784	95,398	184,253

TAG	SERVICE	NOM. TONS	FAN			COOLING			HEATING			ELECTRICAL			O.A.I. (CFM)	EXHAUST (CFM)	WEIGHT (LBS)	MODEL #	MFGR.	NOTES
			CFM	S.P	H.P.	SENS. (MBH)	TOTAL (MBH)	ENT. AIR DB/WB	INPUT (MBH)	OUTPUT (MBH)	HEAT STAGES	VOLT.	MCA	MOCP						
RTU-1	UNIT	5.0	3,000	0.5	2	102	72.4	80/67	117/180	93.6/144	2	208, 3Ø	48	60	2,180	2,550	1,586	LGC102S2B	LENNOX	1

1. GAS/ELECTRIC ROOF TOP UNIT WITH 14" HIGH ROOF CURB, ECONOMIZER AND 1/3 HP POWER EXHAUST

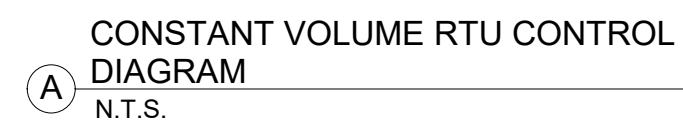


TAG	SERVICE	CFM	S.P	H.P.	DRIVE	R.P.M.	VOLT.	MODEL #	MFGR.	NOTES
RTU-1	TOILET ROOMS	250	0.250	---	DIRECT	1150	120	SP-A390	GREENCHECK	1,2
EXH-1	CLASSROOM / ENTRY / STORAGE	600	0.750	---	DIRECT	1775	120	SP-B5-6	GREENCHECK	1,2

1. IN-CEILING DIRECT DRIVE EXHAUST FAN. FAN TO BE COMPLETE WITH INTEGRAL GRILLE, BACKDRAFT DAMPER AND MOUNTING BRACKETS. INCLUDE ON/OFF SWITCH.
2. APPROVED EQUALS: COOK

TAG	NO. OF COMP.	COMP. TYPE	COMP. TON	REF.	REF. WEIGHT	REMOTE	SELF CONTAIN.	LOCATION	AIR- COOLED	WATER- COOLED
RTU-1	1	SCROLL	5.0	R-410A	5 LB	NO	YES	OUT	YES	NO

1. REMOVE EXPANSION VALVES, DEVICES, ETC. FROM AIR STREAMS.
2. ALL REFRIGERANT PIPING SHALL BE EITHER TYPE ACR OR TYPE K COPPER, UNLESS THE PRESSURE EXCEEDS THE RATED CAPACITY OF ACR TUBING, WITH BRAZED JOINTS.
3. PROVIDE 1/2" PRV AT DISCHARGE OF EVERY DISCHARGE OUT OF DOORS. SET PRV TO 450 PSI.
4. INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF THE SYSTEM, UPSTREAM OF ANY INTERVENING VALVES.
5. COMPRESSORS LOCATION INSIDE CORRESPONDING ROOF TOP UNITS.

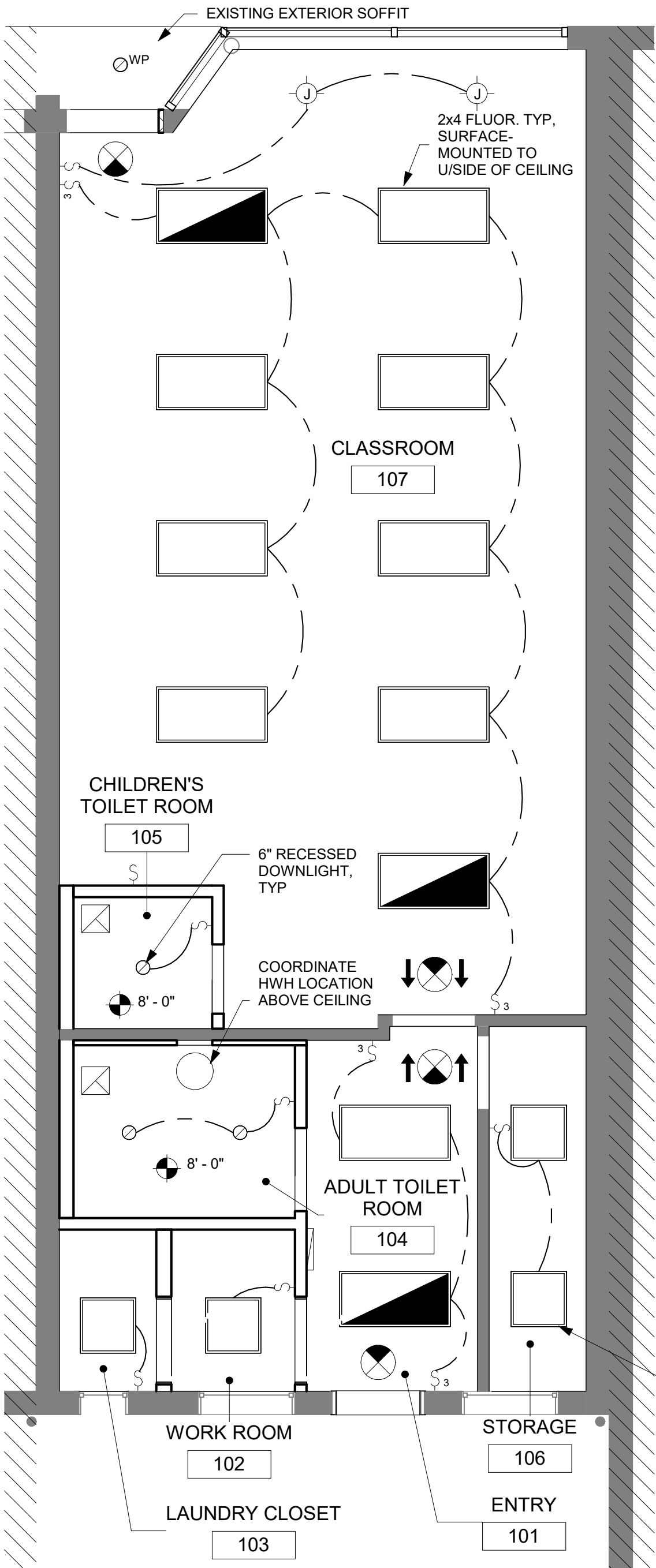


M1-2

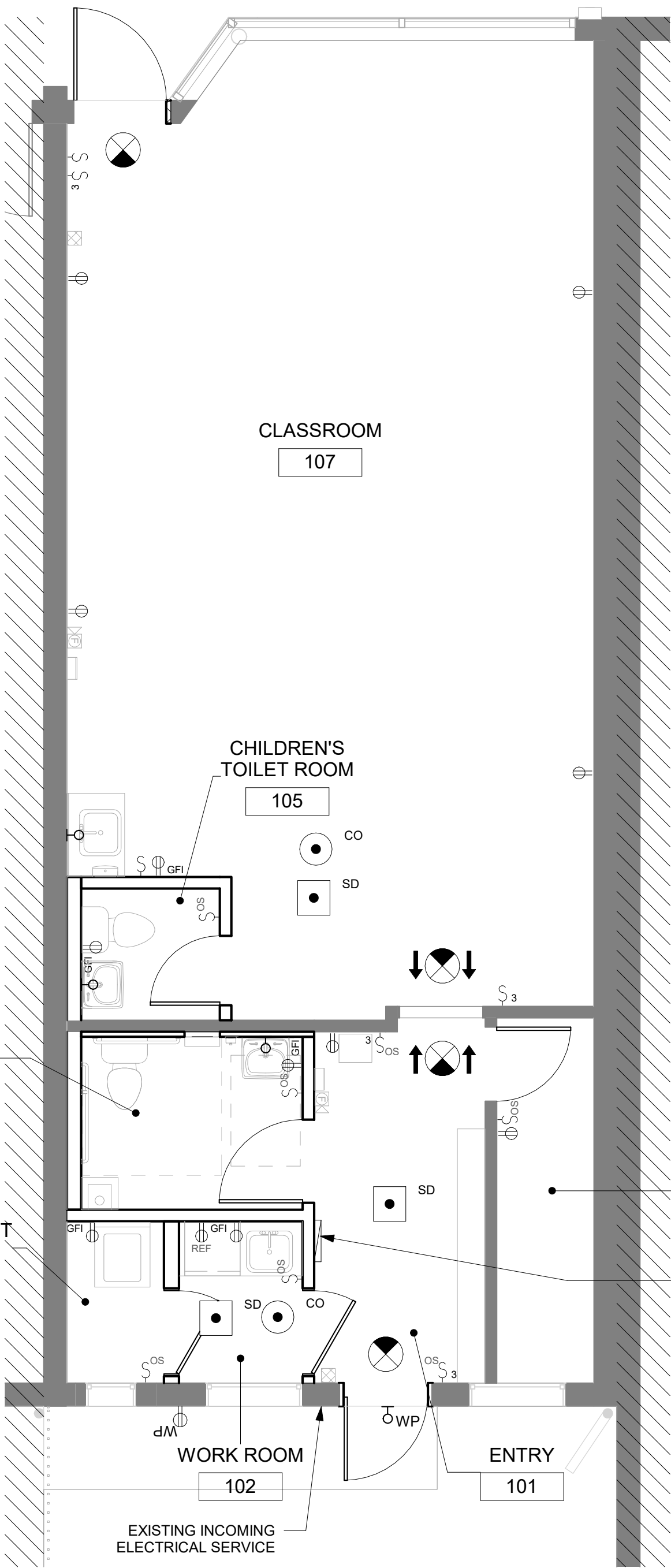


- P1-1

1. Provide and install plumbing as shown on the Drawings and as specified herein - drawings are diagrammatic in nature.
2. Plumbing includes:
 - A. Hot and cold water distribution systems.
 - B. Waste drains and vents
 - C. Gas piping.
 - D. All plumbing fixtures.
3. Provide experienced, well-trained workers competent to complete the work as specified.
4. All work shall comply with manufacturer's instructions and trade association standards and governing building and safety codes.
5. Provide all materials required to complete the work as shown on Drawings and specified herein. Deliver, store, and transport materials to avoid damage to the product or to any other work. Reject and return all products or materials delivered in a damaged or unsatisfactory condition. Materials and products delivered will be certified by the manufacturer to be as specified.
6. Confirm there is no conflict between this work and governing building and safety codes. Confirm there are no conflicts between this work and work of other trades. Confirm that work of other trades that must precede this work has been completed. Meet all requirements to secure warranty.
7. Water supply pipe below grade beyond the building line shall be in conformance with the Village of Oak Park Standards.
8. Water supply pipe above grade and within the building line shall be: Copper tubing, Type L, hard drawn, cast brass or wrought copper fittings, soldered joints.
9. Natural gas pipe below grade and beyond the building line shall be steel, Schedule 40, black with polyethylene jacket, welded joints. Natural gas pipe above grade and within the building line shall be steel, Schedule 40 black, malleable iron or forged steel fittings, screwed or welded.
10. Provide clearly marked, easily accessible, and tested shut off valve for water piping to fixtures. Insulate and provide warm air ventilation for all piping subject to freezing.
11. Provide 12" air chambers at each plumbing fixture and 24" air chambers at each riser.
12. Provide waste and soil line cleanouts at the bottom of each stack.
13. Pipes passing under or through walls must be protected from breakage. Stud protectors are required on all plates and studs where wastes, vents, and water pipes pass through them.
14. Provide and install plumbing fixtures, trim, and related construction as per the Drawings and Plumbing Fixture Schedule in the Drawings.
15. Correct any conditions that might interfere with speedy, well-coordinated execution of the work.
16. Vents and related support construction for plumbing and mechanical equipment must be as required by the building department.
17. Install products as per Drawings and these Specifications. After installation, inspect all work for improper installation or damage. Upon completion, secure all required pressure tests, inspections, and approvals of the completed system. Make all required adjustments and corrections at no added cost to the Owner. Sterilize the water system and provide copies of a Certificate of Performance.
18. Provide for maintenance of this work for one year following final approval by governing agencies. Maintenance includes all work required in manufacturer's instructions such as inspection, adjustment, repair and replacement of parts as required.
19. Operating fixtures must perform smoothly. Repair or replace any defective work. Repair work will be undetectable. Redo repairs if work is still defective, as directed by the Owner or governing safety regulatory agency.
20. Clean the work area and remove all scrap and excess materials from the site.
21. Elec., hvac, & plumbing contractors are responsible for their own penetrations through brick, concrete, wood, and concrete foundation walls etc. Coring is the approved procedure. Damage will be back charged accordingly. All work to be done in accordance with all applicable codes and ordinances.
22. All work to be done in accordance with all applicable codes and ordinances.
23. All water distribution piping shall be copper type "L".
24. Where new utilities are to be provided, make necessary arrangements with utility co. and city officials to facilitate installation.
25. All waste piping risers to be cast iron above and below grade.
26. Floor drains shall conform to asme/ansi a112.21 floor drain traps shall have removable strainers. The floor drain shall be constructed so that the drain can be cleaned and so that the drain inlet shall be readily accessible. Floor drains shall be a minimum of 2" in diameter.
27. All cleanouts shall be accessible.
28. Extensions of vent pipes through roof shall be terminated a minimum of 12" above roof and above all decks.
29. All vent pipes and branch vents shall be graded and connected so as to drain back to the soil or waste pipe by gravity.
30. Water system to be purged of deleterious matter and disinfected prior to use.
31. All piping support and installation to be in accordance with Village of Oak Park Standards.
32. Gas piping materials to be steel screw pipe, schedule 40a-120, studded clevs hangers and threaded rod supports.
33. Supply and install gas piping shut off at each appliance with drip leg.
34. Horizontal branches, building drain and sewer to be pitched 1/8"-1/4" per foot.
35. Provide shut off valves at each plumbing fixture, the base of each riser at the main water supply, and each water heater /boiler and sillcock.
36. All connections with solder shall be lead free.
37. Provide simplex sewage ejector system or equal. Contractor shall be responsible for locating off site utility services and shall provide all work required for service taps.
38. Provide gas lines with valves to fireplaces, furnaces, ovens, stoves and hot water heaters.
39. Provide and install gas piping, fittings, valves and supports.
40. Provide and install all fixtures and trim for fixtures and appliance locations, provide nickel-plated brass angle stops and escutcheons at all sinks, lavatory and water closets.
41. Provide and install open site drain at all furnace locations for condensate and all washer locations at laundry closets &rooms.
42. Provide and install gray box for each washer.
43. All piping shall be concealed in walls and behind fixed furnishings unless otherwise noted.
44. PVC pipe and fittings are not to be used.



② FIRST FLOOR CEILING PLAN
1/4" = 1'-0"



① FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

NOTE: ELECTRICAL WORK TO BE PERFORMED ON A "DESIGN/BUILD" BASIS.

ELECTRICAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COMPLETE DESIGN, ENGINEERING AND INSTALLATION OF THE ELECTRICAL SYSTEMS AND EQUIPMENT AND SHALL WARRANT TO THE OWNER THAT SUCH WORK SHALL MEET THE NEEDS AND THE REQUIREMENTS OF THE OWNER AND THE PROJECT AS PLANNED AND ITS INTENDED USES AS WELL AS COMPLY COMPLETELY WITH ALL APPLICABLE CODES, ORDINANCES AND GOVERNING REGULATIONS. IN NO WAY SHALL A "DESIGN/BUILD" ARRANGEMENT LIMIT THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE HIS OR HER OBLIGATIONS TO MEET SUCH NEEDS AND REQUIREMENTS.

- GENERAL NOTES:**
- Electrical and communication receptacles shall be mounted no less than 15" above the floor.
 - The highest operable part of the light switches, controls, dispensers, receptacles, and other operable equipment shall be placed within 15" to 48" above the floor for forward approach or to a maximum of 54" above the floor for parallel approach.
 - Provide and install a complete and operable electrical service, power and lighting products, lamps and lamp holders as shown on the Drawings and specified herein. Provide and install all required accessories for mounting and operation of each fixture.
 - Provide experienced, well-trained workers competent to complete the work as specified.
 - Unless approved by the Owner, provide all related products and accessories from one manufacturer.
 - Use products and accessories from a manufacturer, specified or approved by the Owner, who specialize in making, installing and servicing, systems of this type.
 - All work shall comply with manufacturer's instructions, governing authorities, building and safety codes.
 - Provide and store all materials required to complete the work as shown on Drawings and specified herein. Deliver, store and transport materials to avoid damage to the product or to any other work. Reject and return any products or materials delivered in a damaged or unsatisfactory condition. Materials and products delivered to the site shall be as specified and will be certified by the manufacturer as such.
 - Examine and verify that job conditions are satisfactory for speedy and acceptable work. Maintain and use up-to-date construction documents on site. Maintain and use up-to-date trade standards and manufacturer's instructions.
 - Confirm there is no conflict between this work and governing authorities, building and safety codes. Confirm there are no conflicts between this work and work of other trades. Confirm that work of other trades that must precede this work has been completed. Meet all manufacturer's requirements to secure product warranties.
 - All materials must be new and of the type and quality specified. Materials must be delivered in labeled, unopened containers. All electrical products must bear the Underwriters Laboratory label.
 - Coordinate size and type of electric service with all equipment supplied to the job. Label all circuits on electrical panel.
 - Provide Ground Fault Interrupter outlets at all bathrooms, garages, exterior applications and kitchens. All outlets within 6' - 0" of a water source shall be GFI protected.
 - Provide disconnects as required for all equipment. Provide proper work clearances at all locations per referenced code.
 - Provide smoke detectors (UL approved with warning device) on each level of the unit, hard wired in series with battery backup. All detectors within house shall sound when one sounds. Alarm and fire detection wires are to be UL rated for fire alarm systems and shall be low smoke - high temperature. Label all emergency circuits on electrical panel.
 - Smoke detectors are to be located not less than 3'-0" from the tip of ceiling fan blades or from the entrance to a kitchen, laundry or bathroom.
 - Provide complete switches, receptacles, wall plates and related materials as shown on the drawings. WALL SWITCHES: quiet operating switch rated 20 amperes and 110-220 volts AC. Color and switch type as per the electrical schedule. WALL DIMMERS: linear slide type, color as per the electrical schedule. Rated for 600 Watts minimum, size as per circuit. RECEPTACLES: as per the electrical schedule. Provide specific purpose receptacles as indicated on the Drawings.
 - Exterior weatherproof cover plates shall be gasketed cast metal with hinged gasketed covers.
 - Correct any conditions that might interfere with speedy, well-coordinated execution of the work.
 - Straps and other support construction for electrical equipment must be provided as required by the building department.
 - Upon completion, inspect all work for improper installation or damage, secure all required tests, inspections, and approvals of the completed system. Make all required adjustments and corrections at no added cost to the Owner.
 - Provide maintenance of all work, for one year, following substantial completion of the project. Maintenance includes all work required in manufacturer's instructions such as inspection, adjustment, repair and replacement of parts as required.
 - Operating fixtures must perform smoothly. Repair or replace any defective work. Repair work will be undetectable. Redo repairs if work is still defective and as directed by the Owner or governing regulatory agency.
 - Clean the work area and remove all scrap and excess materials from the site.
 - Electrician to provide all wiring to connect thermostats and AC system.
 - Provide occupancy sensors in spaces less than 300sf, where lights shall shut off within 30 minutes after occupancies leave the space
 - Verify with owner all dimmer locations.
 - All ceiling outlet electrical boxes shall be capable of supporting a ceiling fan.
 - All recessed luminaires installed in insulated ceilings and between conditioned and unconditioned spaces shall be IC-rated.
 - All recessed luminaires installed between conditioned and unconditioned spaces shall be labeled as having an air leakage rated of 2.0 cfm at 75 PA pressure differentials. Seal with gasket or caulk between housing and ceiling covering, per Village of Oak Park standards.
 - All new or modified 120V, 15A or 20A branch circuits shall be protected by a listed arc-fault circuit interrupter, combination type, installed to protect the branch circuit.
 - Provide 20 amp circuit at all laundry closet locations, per Village of Oak Park Standards.
 - 14AWG Gu conductors cannot be used for a branch circuit larger than 15A.
 - Design for inter-system bonding termination per referenced codes.
 - Supplemental grounding electrode shall be provided at a minimum of 6'-0" spacing where resistance to earth is greater than 25 ohms or cannot be verified.
 - Emergency lighting shall provide an average of 1 footcandle at the walking surface along the path of egress.
 - Exit signs shall be internally or externally illuminated except at tactile signs. Internally illuminated exit signs shall be listed and labeled in accordance with UL 924. Externally illuminated exit signs shall have an intensity no less than 5 footcandles. Power shall be connected to an emergency power system.
 - The Emergency System shall consist of emergency lighting units and illuminating egress sign units with integral battery packs where to dedicated breakers in lighting panel. Provide lock-on breaker devices to prevent accidental breaker shut-off.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE VILLAGE OF OAK PARK BUILDING CODE AND ZONING CODE, LATEST EDITIONS.
- ALL MATERIALS FURNISHED UNDER THESE DRAWINGS SHALL BE NEW UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER COMPLETION AND ACCEPTANCE. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT THEIR OWN EXPENSE, ANY DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN SAID PERIOD OF TIME.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ANY EXISTING CONDITIONS PERTAINING TO THE JOB SITE.
- THE GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE FOR ANY AND ALL VILLAGE INSPECTIONS.

- THE GENERAL CONTRACTOR SHALL DISPOSE OF ANY AND ALL DEBRIS RESULTING FROM ANY DEMOLITION AND CONSTRUCTION BEING DONE.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES THAT MAY OCCUR WITHIN THIS SET OF DRAWINGS. THE ARCHITECT WILL BE ALLOWED TO MAKE THE APPROPRIATE ADJUSTMENTS TO RECTIFY THE SITUATION.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL HAVE THE NECESSARY INSURANCE AND WORKMAN'S COMPENSATION POLICY.
- THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR ACTS AND OMISSIONS OF GENERAL CONTRACTOR.

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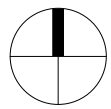


USE OF DRAWINGS NOTE:

EVERY CONTRACTOR AND SUB-CONTRACTOR BY USING THESE PLANS FOR THEIR WORK HEREBY AGREES TO HOLD HARMLESS THE VILLAGE OF OAK PARK, THE OWNER OF RECORD, THE LANDLORD, THE TENANT/LICENSEE, THE ARCHITECT (CHRISTOPHER BREMER) AND ENGINEER, INCLUDING THEIR DUTIES, FROM AND AGAINST ANY LIABILITY, CLAIMS, DAMAGES AND THE COST OF DEFENSE, ARISING OUT OF THE CONTRACTORS' PERFORMANCE OF THE WORK DESCRIBED IN THESE PLANS AND SPECIFICATIONS, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, LANDLORD, TENANT/LICENSEE, ARCHITECT, DESIGNER OR ENGINEER OR THEIR EMPLOYEES, CONSULTANTS AND AGENTS.

1	09-05-19	ISSUE FOR PERMIT
No.	DATE	DESCRIPTION

FIRST FLOOR ELECTRICAL PLAN



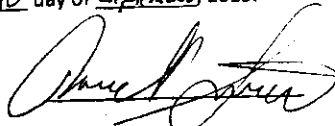
E1-1

OWNER STATEMENT

G&H BUILDING LLC
I/we, _____, being first duly subscribed and sworn under oath, state that I/we am/are the owner(s) of real property commonly known as 941 W. Garfield Ave., Oak Park, Illinois.

I/we further acknowledge and support the proposed Day Care Center proposed by Luisa Long, owner of Oak Park Montessori School & Day Care, as described in Exhibits 01, 02 and 03.

Dated this 10 day of September, 2019.


Owner's Signature